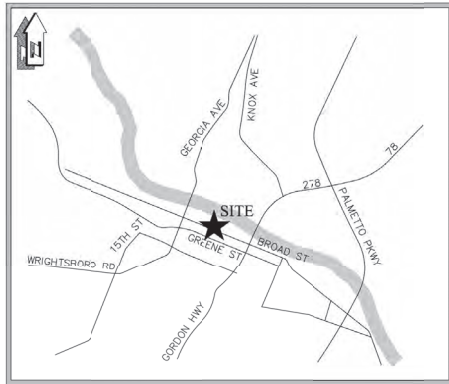


D:\PROJECTS\2024\0324-0328 JONES ALLEY IMPROVEMENTS\AC-DRAWINGS\DWG-0324-0328 LAY OUT 11/14/2025 2:24 PM



VICINITY MAP  
1" = 5000'

## MAYOR

GARNETT L. JOHNSON

## BOARD OF COMMISSIONERS

DISTRICT 1 JORDAN JOHNSON	DISTRICT 2 STACY PULLIAM
DISTRICT 3 CATHERINE SMITH-RICE	DISTRICT 4 TANYA BARNHILL-TURNLEY
DISTRICT 5 DON CLARK	DISTRICT 6 TONY LEWIS
DISTRICT 7 TINA SLENDAK	DISTRICT 8 BRANDON GARRETT
DISTRICT 9 FRANCINE SCOTT	DISTRICT 10 WAYNE GUILFOYLE

AUGUSTA ENGINEERING DEPARTMENT  
HAMEED MALIK, Ph.D., P.E.  
DIRECTOR ENGINEERING

Sheet Number	Sheet Title
L001	COVER
L002	LEGEND & NOTES
L003	QUANTITY SUMMARY
L100	EXISTING CONDITIONS PLAN
L101	DEMOLITION PLAN
L200	LAYOUT PLAN
L201	GRADING & DRAINAGE PLAN
L202	STORM PROFILES
L203	TRAFFIC PLAN
L204	LANDSCAPE PLAN
L300	ROAD SECTIONS
L400	RIGHT OF WAY LAND
L501	HARDSCAPE DETAILS
L502	CIVIL DETAILS
L503	CIVIL DETAILS
L504	CIVIL DETAILS
L505	CIVIL DETAILS

L600	EROSION CONTROL NOTES
L601	EROSION CONTROL PLAN
L602	EROSION CONTROL DETAILS
L603	EROSION CONTROL DETAILS
S100	CMU WALL SECTION AND DETAILS
A101	ARCHITECTURAL GENERAL SPECIFICATIONS
A102	ARCHITECTURAL GENERAL SPECIFICATIONS
D101	DEMOLITION PLANS & ELEVATIONS
A103	NEW WORK PLAN & ELEVATIONS
A101	WALL SECTIONS & DETAILS
E100	LEGEND, NOTES AND DETAILS
E102	ELECTRICAL DEMOLITION PLAN
E200	ELECTRICAL PLAN

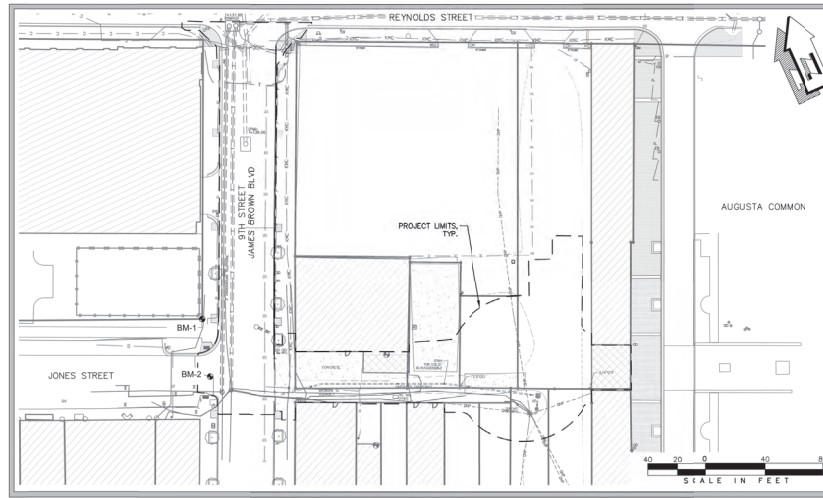
PLANS FOR

# JONES ALLEY IMPROVEMENTS PROJECT

PREPARED FOR

CITY OF AUGUSTA

535 TELFAIR ST  
AUGUSTA 30901



SITE MAP  
1" = 40'

PREPARED BY



11/14/2025

NOTE: PLANS ARE DESIGNED AND INDICATED SHOWING THE SCOPE OF WORK FOR THREE ADD ALTERNATES. CONTRACTOR TO BID ON BASE PLAN WITH OPTION TO ADD PRIORITY ALTERNATES AS DESCRIBED IN NARRATIVE ON SHEET L200 - LAYOUT PLAN.

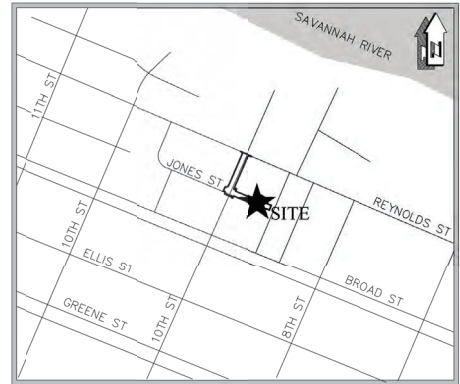
## BENCHMARK DATA

NAME	DESCRIPTION	PT /	NORTHING	EASTING	ELEVATION
BM-1	PKNS	1	1,264,763.0700'	717,006.9330'	138.27' (NAVD88)
BM-2	Z-NAIL/WASHER FOUND	2	1,264,725.0380'	716,996.4340'	138.05' (NAVD88)

## BENCHMARK DATA:

1. COORDINATE SYSTEM IS STATE PLANE NAD 1983.  
2. ALL DISTANCES SHOWN ARE GROUND.

REV #	DATE	DESCRIPTION



LOCATION MAP  
1" = 330'

## PROJECT DATA:

1. ACREAGE OF DEVELOPMENT:	0.60 ACRES
2. AREA DISTURBED:	0.50 ACRES
3. OWNER/DEVELOPER:	CITY OF AUGUSTA 535 TELFAIR ST AUGUSTA 30901 PHONE: 706-796-5040 24 HOUR CONTACT: NAME: WALT CORBIN, PE PHONE: 706-821-1711 EMAIL: WOODIN@AUGUSTA.GOV
4. TAX MAP & PARCEL NUMBERS:	MULTIPLE B-2
5. ZONING:	
6. DRAINAGE AREA THIS PROJECT:	
ON SITE: 0.42 ACRES	
OFF SITE: 1.30 ACRES	
TOTAL: 1.72 ACRES	
7. IMPERVIOUS AREA:	EXISTING: 0.68 ACRES PROPOSED: 0.68 ACRES
8. PERVIOUS AREA:	EXISTING: 0.02 ACRES PROPOSED: 0.02 ACRES
9. RECEIVING STREAM:	SAVANNAH RIVER
10. ULTIMATE STREAM:	SAVANNAH RIVER
11. EXISTING LAND USE:	ROW
12. PROPOSED LAND USE:	ROW



ISSUED FOR BID - 11/14/2025

2024-0328  
L001



## CR

Know what's below.  
**Call** before you dig.

L002



PAY ITEM NO.	DESCRIPTION	QUANTITY	UNIT
<b>ADD ALTERNATE #1</b>			
	REMOVE		
44--0104	CONC SIDEWALK, 4 IN	257	SY
<b>ADD</b>			
90--0035	BRICK PAVERS SIDEWALK, INCL 6 IN TK CONC AND 6 IN TK GR AGGR BASE	2310	SF
<b>ADD ALTERNATE #2</b>			
	REMOVE		
310--5800	GR AGGR BASE CRS, 8 INCH, INCL MAT'L	30	SY
402--3100	RECYCLED ASPH CONC 9.5 MM SUPERPAVE, TYPE I, GP 1 OR BLEND 1, INCL BITUM MAT'L & H LIME	10	TN
402--3113	RECYCLED ASPH CONC 12.5 MM SUPERPAVE, GP 1 OR 2, INCL BITUM MAT'L & H LIME	4	TN
411--0750	TACK COAT	13	GL
653--1804	THERMOPLASTIC SOLID TRAF STRIPE, 8 IN, WHITE	350	LF
<b>ADD</b>			
501--3650	CLASS AA-1 CONCRETE	8.5	CY
90--0035	BRICK PAVERS SIDEWALK, INCL 6 IN TK CONC AND 6 IN TK GR AGGR BASE	1050	SF
<b>ADD ALTERNATE #3</b>			
	REMOVE		
402--3100	RECYCLED ASPH CONC 9.5 MM SUPERPAVE, TYPE I, GP 1 OR BLEND 1, INCL BITUM MAT'L & H LIME	57	TN
402--3113	RECYCLED ASPH CONC 12.5 MM SUPERPAVE, GP 1 OR 2, INCL BITUM MAT'L & H LIME	57	TN
411--0750	TACK COAT	82	GL
<b>ADD</b>			
301--5011	BLACK PIGMENT FOR PORTLAND CEMENT CONCRETE PAVING, 8 IN REINF CONC	510	SY



REV #	DATE
-------	------

## QUANTITY SUMMARY

DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	NO SCALE
JOB No.	2024--0328
DRAWING No.	

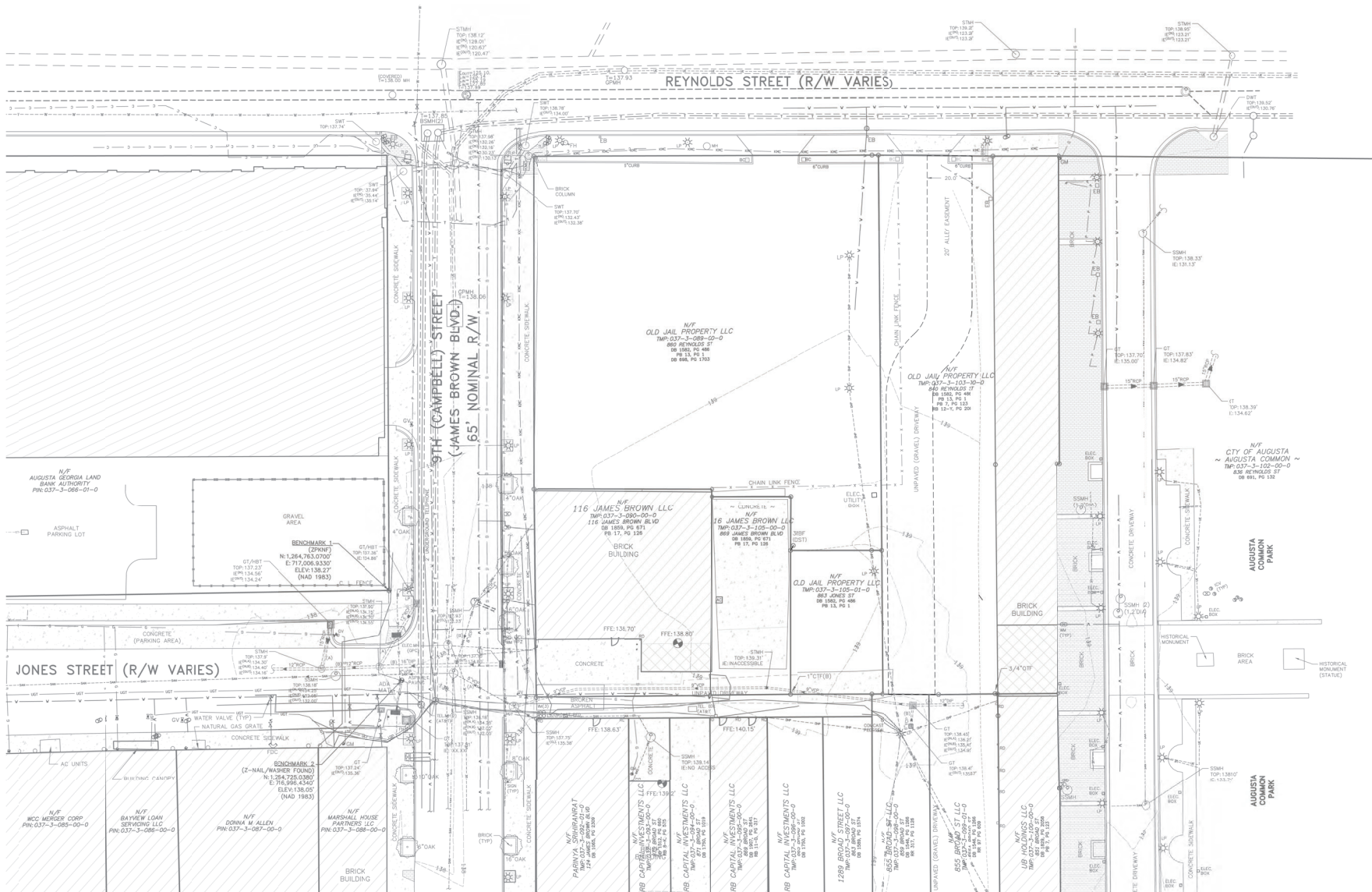
L003

ISSUED FOR BID - 11/14/2025





D:\PROJECTS\2024\0324-0328-JONES STREET IMPROVEMENTS\AC-DRAWINGS\ASCC-0324-0328-LAS.DWG 11/14/2025 2:24 PM



**BENCHMARK DATA**

NAME	DESCRIPTION	PT #	NORTHING	EASTING	ELEVATION
BM-1	ZPKNS	1	1,264,763.0700'	717,806.9330'	138.27' (NAVD88)
BM-2	Z-NAL-WASHER	2	1,264,725.0380'	716,996.4340'	138.05' (NAVD88)

BENCHMARK DATA:  
1. COORDINATE SYSTEM IS STATE PLANE, NAD 1983.  
2. ALL DISTANCES SHOWN ARE GROUND.



ISSUED FOR BID - 11/14/2025

**CRANSTON**

JONES ALLEY IMPROVEMENTS PROJECT

EXISTING CONDITIONS PLAN

DRAWN BY: BMR

CHECKED BY: RSD

APPROVED BY: RSD

DATE: 11/14/2025

SCALE: 1" = 20'

JOB No. 2024-0328

DRAWING No. L100













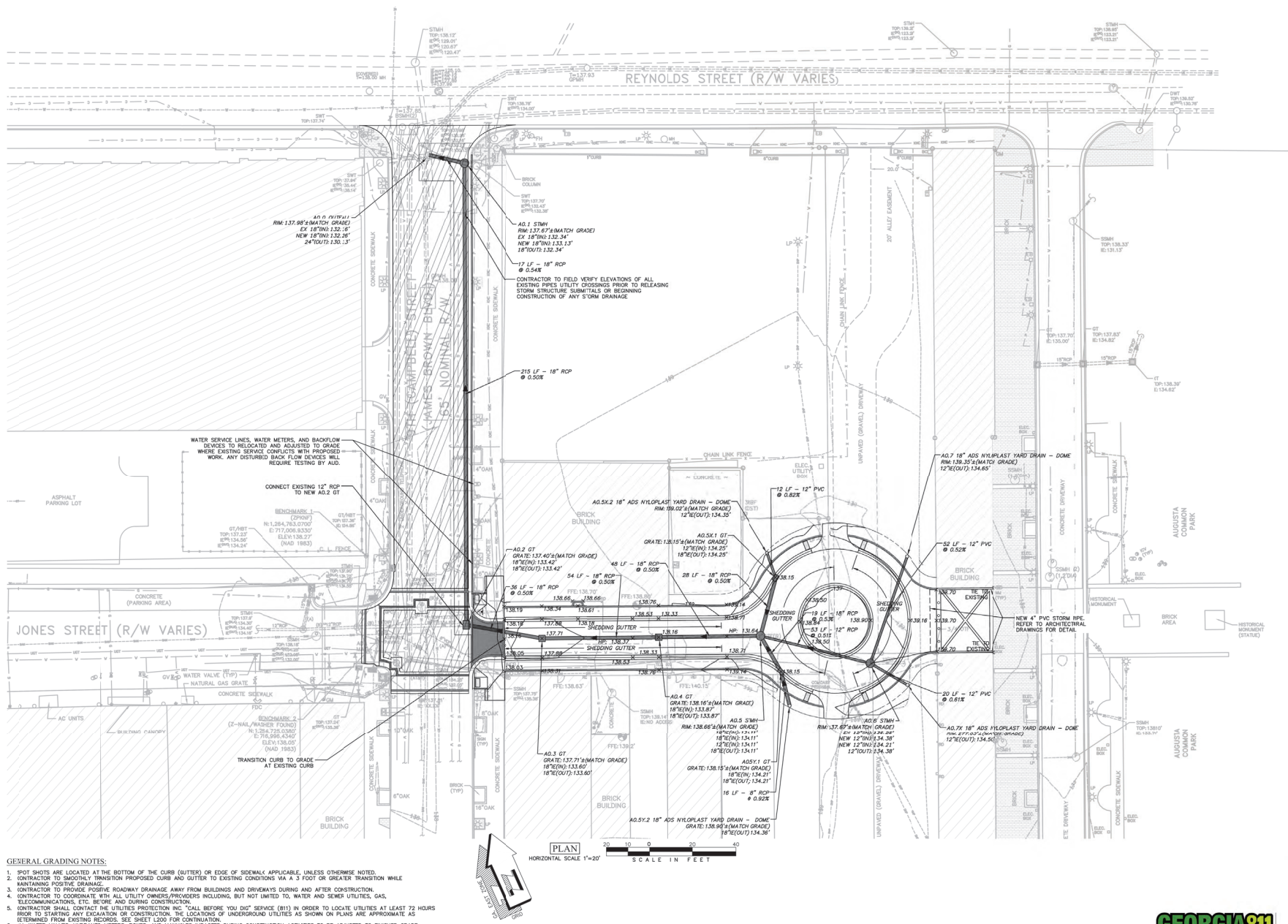
## JONES ALLEY IMPROVEMENTS PROJECT

## GRADING & DRAINAGE PLAN

DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	1" = 20'
JOB No.	2024-0328
DRAWING No.	

L201

ISSUED FOR BID - 11/14/2025



**GEORGIA811**  
Utilities Protection Center, Inc.

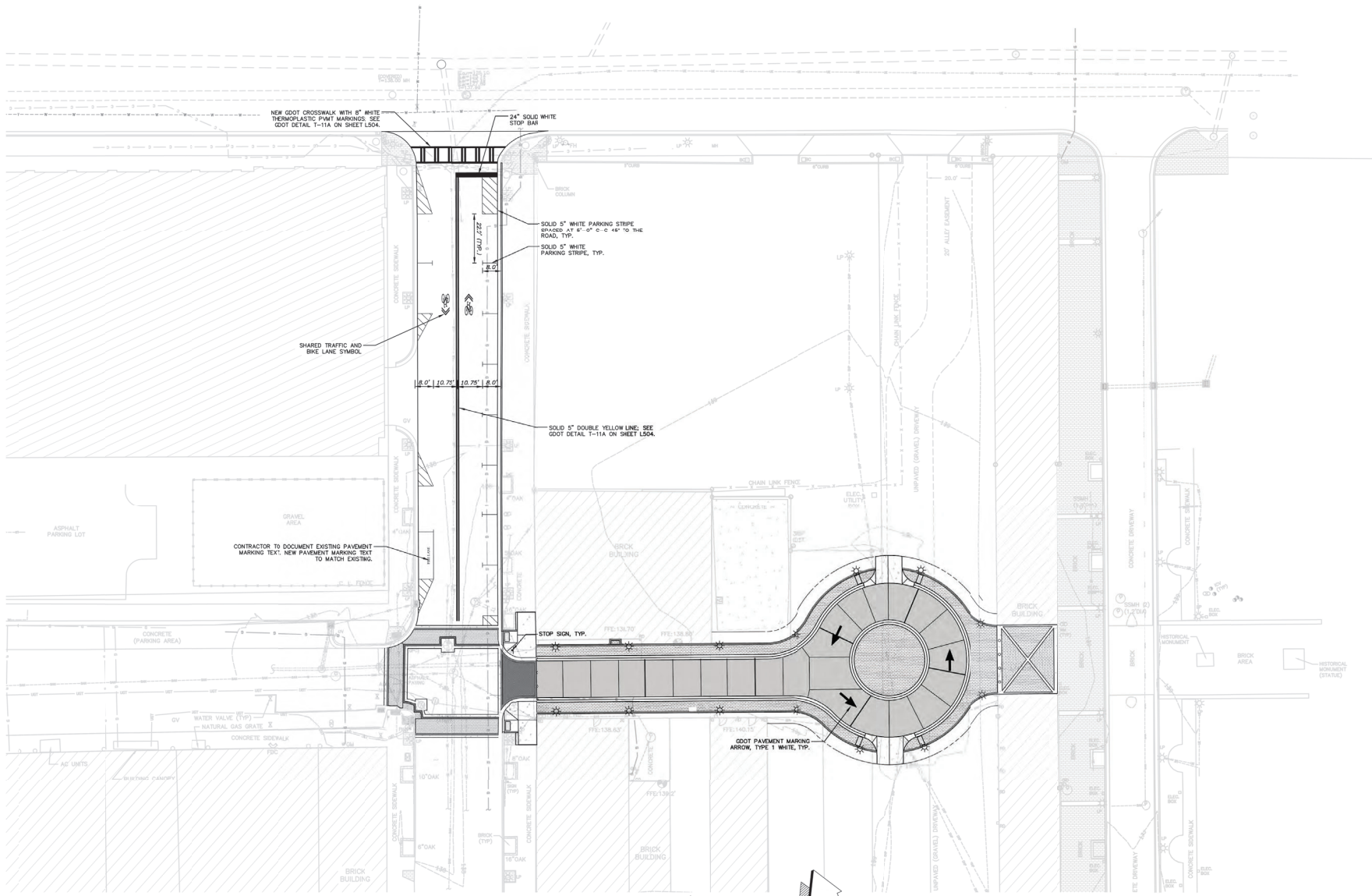
Know what's below.  
Call before you dig.

Know what's below.  
Call before you dig.









GENERAL TRAFFIC NOTES:

1. CONTRACTOR TO SMOOTHLY TRANSITION PROPOSED CURB AND GUTTER TO EXISTING CONDITIONS VIA A 3 FOOT OR GREATER TRANSITION WHILE MAINTAINING POSITIVE DRAINAGE.
2. CONTRACTOR TO PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE GDOT WORK ZONE SAFETY AND MOBILITY POLICY AND THE MUTCD, CURRENT EDITION. MAINTAIN CONTINUOUS ACCESS TO RESIDENCE DURING CONSTRUCTION.
3. CONTRACTOR SHALL CONTACT THE UTILITIES PROTECTION INC. "CALL BEFORE YOU DIG" SERVICE (811) IN ORDER TO LOCATE UTILITIES AT LEAST 72 HOURS PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN ON PLANS ARE APPROXIMATE AS DETERMINED FROM EXISTING RECORDS.
4. ALL WATER VALVES, HYDRANTS, METERS, BOXES, AND MANHOLES IMPACTED DURING CONSTRUCTION ACTIVITIES TO BE ADJUSTED TO FINISHED GRADE.
5. ALL UTILITIES OR OTHER SERVICE OUTAGES OR DISRUPTIONS TO EXISTING FACILITIES SHALL BE APPROVED AND SCHEDULED WITH OWNER AT LEAST 48 HOURS IN ADVANCE.
6. ALL UTILITIES AND CONDUIT SLEEVES MUST BE INSTALLED BEFORE PAVING IS COMPLETE.
7. SIDEWALK DIMENSIONS ARE TO THE EDGE OF SIDEWALK.
8. PAVEMENT MARKINGS AND ARROWS SHALL BE IN ACCORDANCE WITH GDOT STANDARD DETAILS AND SPECIFICATIONS, LATEST EDITION.
9. CROSSWALKS, STOPBARS, AND MEDIAN HATCH STRIPING ARE TO BE THERMOPLASTIC PAINT STRIPE MEETING GDOT STD. SPECIFICATION 653.

PLAN  
HORIZONTAL SCALE 1"=20'

SCALE IN FEET



ISSUED FOR BID - 11/14/2025



JONES ALLEY IMPROVEMENTS  
PROJECT

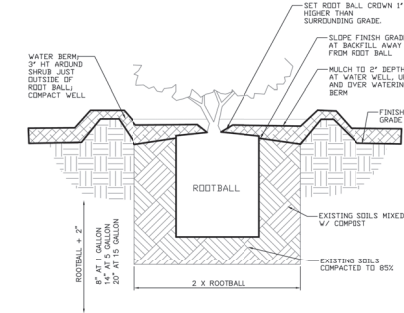
STRIPING PLAN

DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	1" = 20'
JOB No.	2024-0328
DRAWING No.	

L203



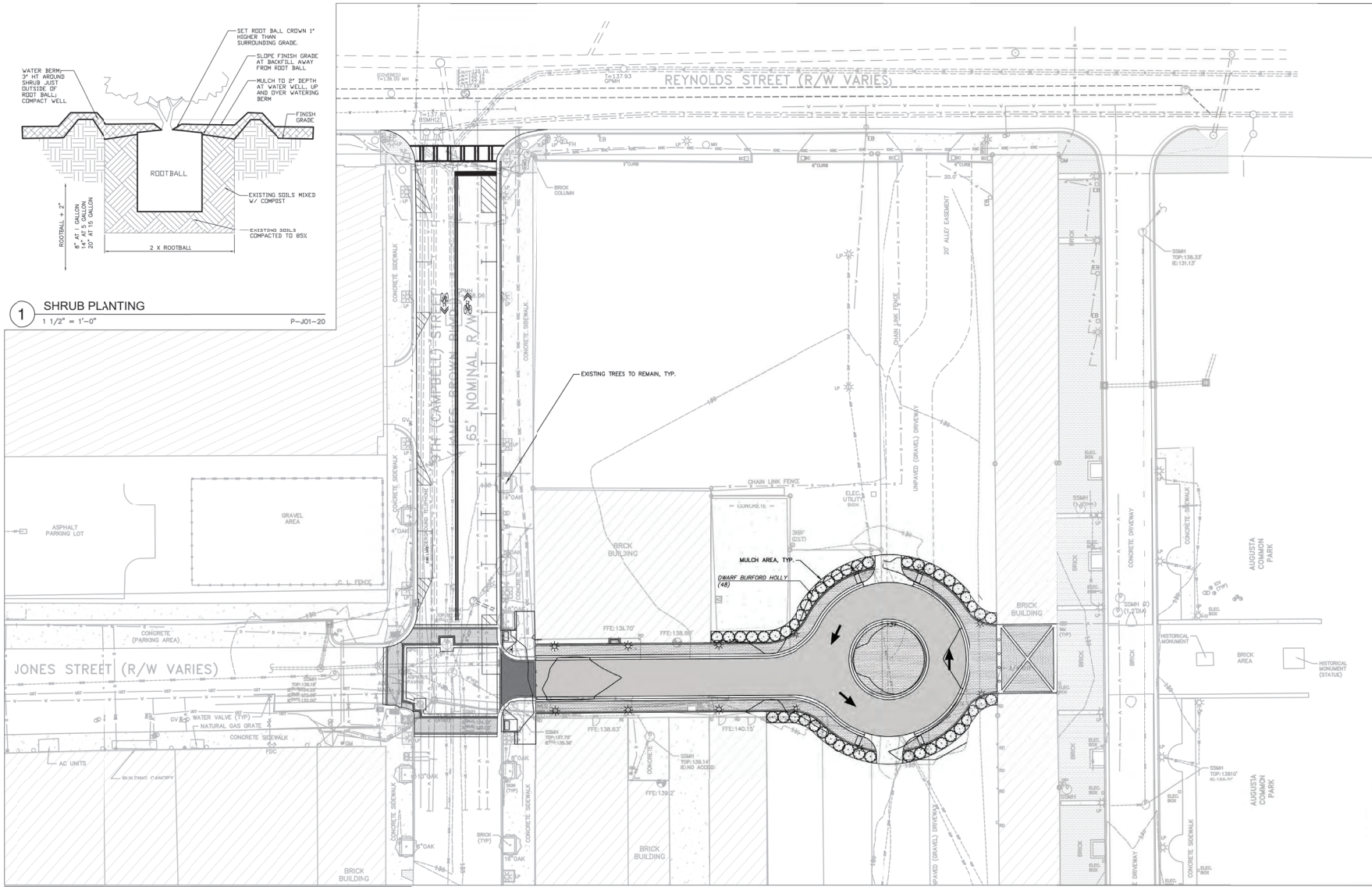
\\VMS-CTD\2024\2024-0326-JONES ALLEY IMPROVEMENTS\AC-DRAWINGS\LANDSCAPE ARCHITECTURE\2024-0326-JONES ALLEY IMPROVEMENTS.dwg 11/14/2025 2:28 PM



# 1 SHRUB PLANTING

1 1/2" = 1'-0"

P-JOI-20



## PLANT SCHEDULE

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	SIZE	HT.	SPREAD	SPACING
SHRUBS							
	48	Dwarf Burford Holly	Ilex cornuta 'Burfordi Nano'	10 gal	2'	2'	60" o.c.

## PLANTING ACCESSORIES

SYMBOL	DESCRIPTION	QTY
	MULCH HARDWOOD	1384 sf

PLAN  
HORIZONTAL SCALE 1"=20'

SCALE IN FEET



ISSUED FOR BID - 11/14/2025

## JONES ALLEY IMPROVEMENTS PROJECT

## LANDSCAPE PLAN

DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	1" = 20'
JOB No.	2024-0326
DRAWING No.	L204



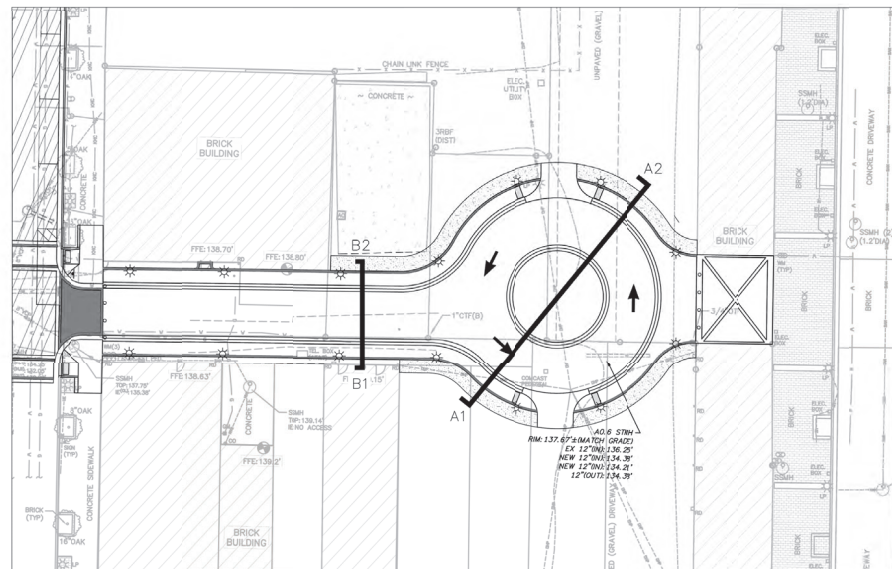
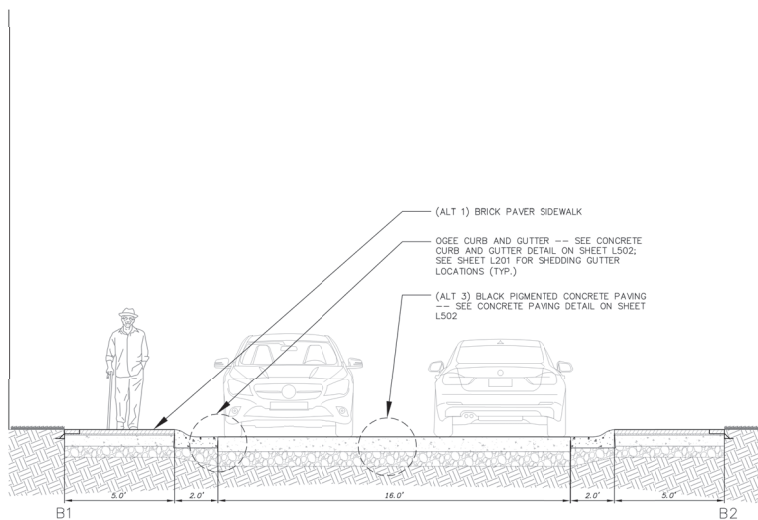
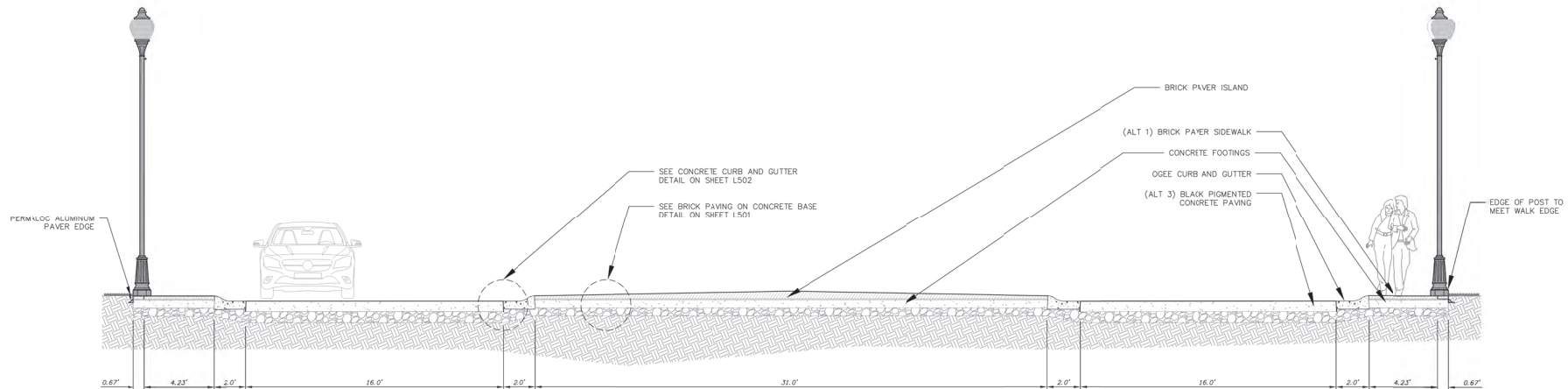
REV	DATE	DESCRIPTION



CRANSTON



D:\PROJECTS\2024\0324-JONES ALLEY IMPROVEMENTS\AC-DRAWING\LANDSCAPE ARCHITECTURE\0324-0328-LANDSC 11/14/2025 2:28 PM



ISSUED FOR BID - 11/14/2025

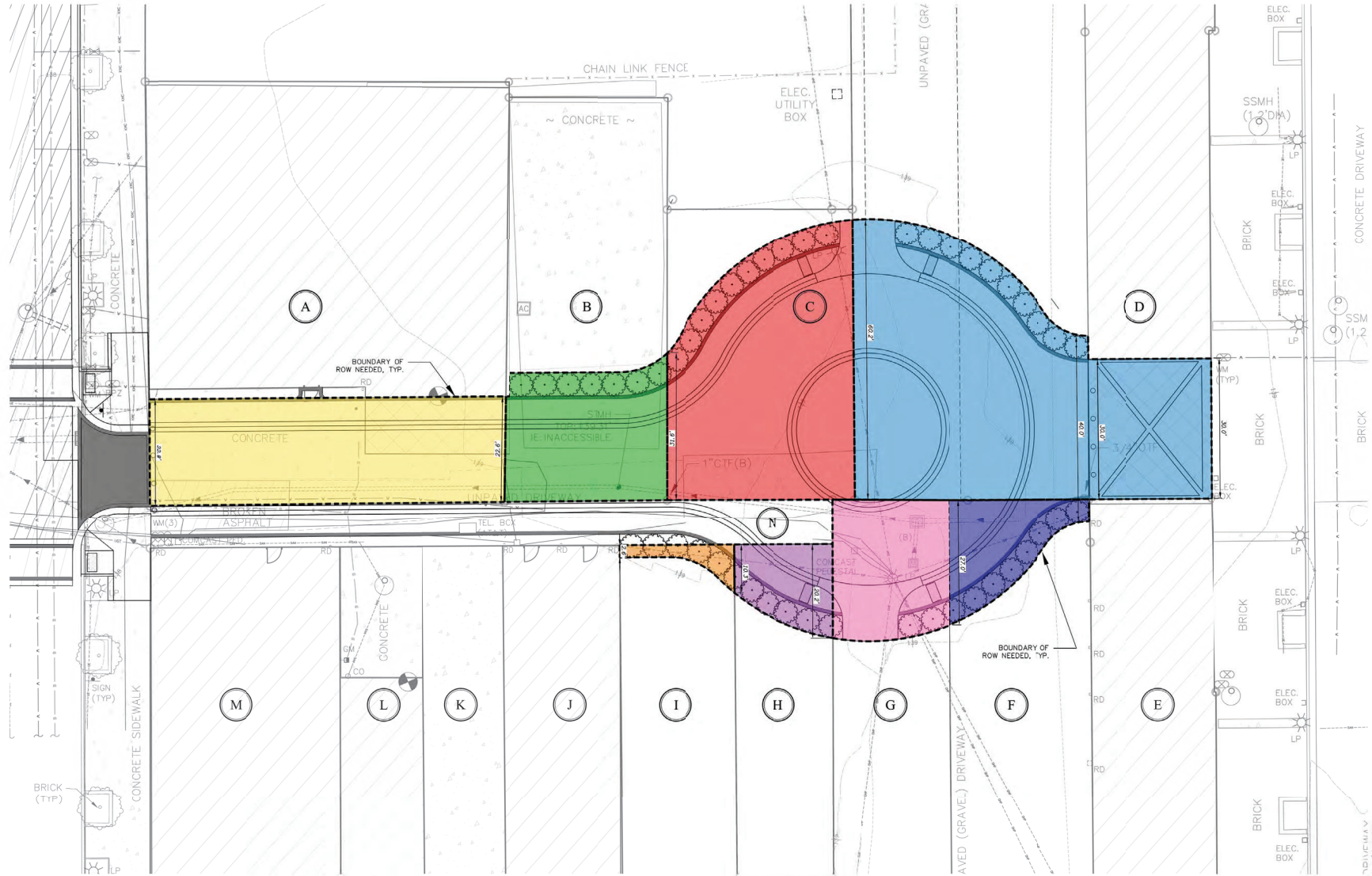


JONES ALLEY IMPROVEMENTS  
PROJECT

ROAD SECTIONS

DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	AS SHOWN
JOB No.	2024-0328
DRAWING No.	L300





ADJOINER ID	TMP	N/F	REQUIRED RIGHT OF WAY	
			SF	ACRES
A	037-3-090-00-3	116 JAMES BROWN LLC	1734	0.040
B	037-3-105-00-0	116 JAMES BROWN LLC	969	0.022
C	037-3-105-01-3	OLD JAIL PROPERTY LLC	2055	0.047
D	037-3-103-00-3	OLD JAIL PROPERTY LLC	3401	0.078
E	037-3-100-00-0	UB HOLDINGS LLC	N/A	N/A
F	037-3-099-01-0	855 BROAD ST LLC	481	0.011
G	037-3-098-00-3	855 BROAD ST LLC	750	0.017

ADJOINER ID	TMP	N/F	REQUIRED RIGHT OF WAY	
			SF	ACRES
H	037-3-097-00-0	1289 BROAD STREET LLC	346	0.008
I	037-3-096-00-0	RB CAPITAL INVESTMENTS LLC	100	0.002
J	037-3-090-00-0	RB CAPITAL INVESTMENTS LLC	N/A	N/A
K	037-3-105-00-0	RB CAPITAL INVESTMENTS LLC	N/A	N/A
L	037-3-105-01-0	RB CAPITAL INVESTMENTS LLC	N/A	N/A
M	037-3-103-00-0	PARINYA SRIHARANRAT	N/A	N/A
N	N/A	CITY OF AUGUSTA R/W	N/A	N/A

PLAN  
HORIZONTAL SCALE 1"=10'  
SCALE IN FEET



ISSUED FOR BID - 11/14/2025



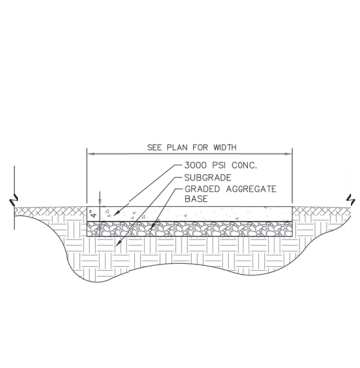
JONES ALLEY IMPROVEMENTS  
PROJECT

RIGHT OF WAY LAND

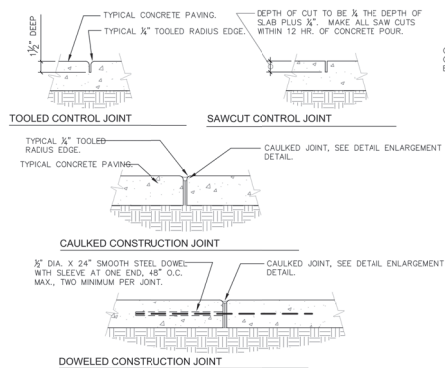
DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	1" = 10'
JOB No.	2024-0328
DRAWING No.	L400



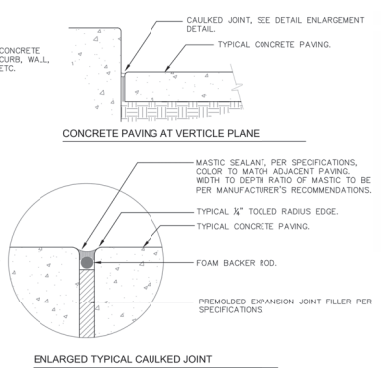
\\V:\6375\2024\2024-0328-ALLEY IMPROVEMENTS\AC-DRAWINGS\ASDC\DWG\ARCHITECTURE\2024-0328-ALLEY IMPROVEMENTS.DWG 11/14/2025 2:52 PM



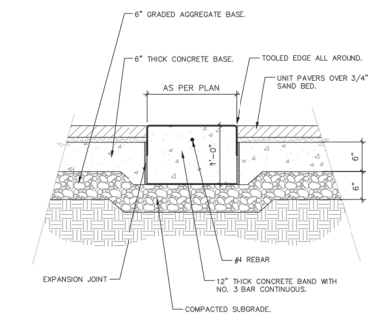
1 CONCRETE WALK PAVING  
3/4" = 1'-0"  
P-J01-03



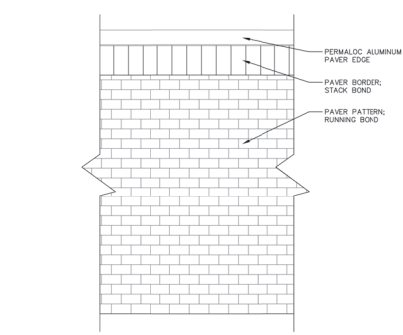
2 TYPICAL CONCRETE PAVING JOINT DETAILS  
1 1/2" = 1'-0"  
P-J01-04



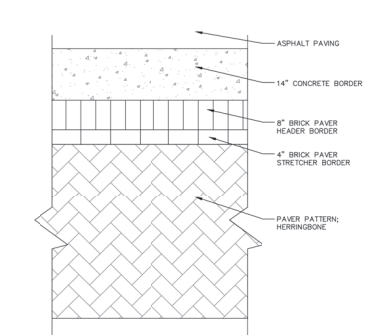
3 BRICK PAVEMENT ON CONCRETE BASE  
3/4" = 1'-0"  
P-J01-07



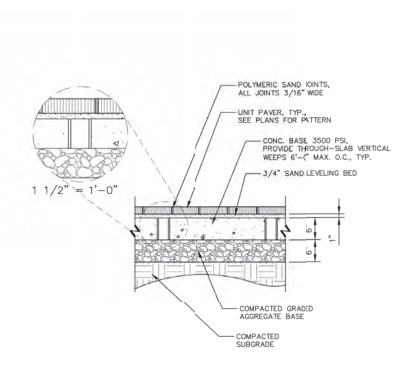
4 CONCRETE BAND AT BRICK UNIT PAVERS AND CROSSWALK  
1" = 1'-0"  
P-J01-21



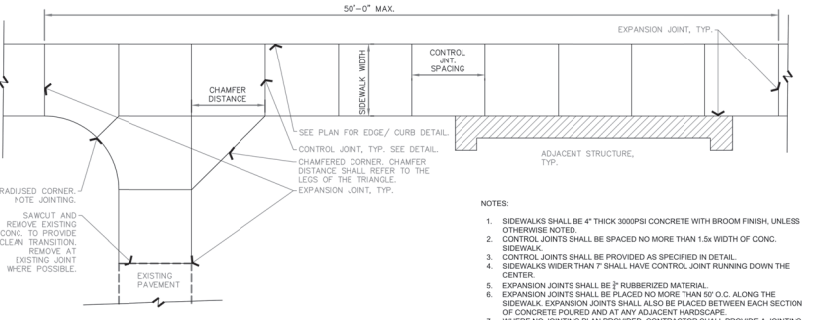
5 SIDEWALK BRICK PAVING PATTERN (ALT 1)  
3/4" = 1'-0"  
P-J01-43



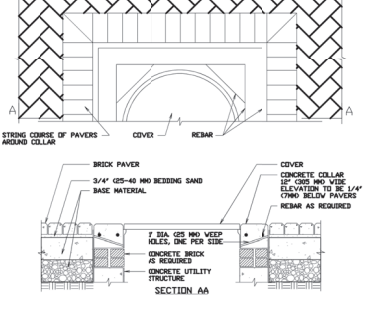
6 CROSSWALK BRICK PAVING PATTERN (ALT 2)  
3/4" = 1'-0"  
P-J01-45



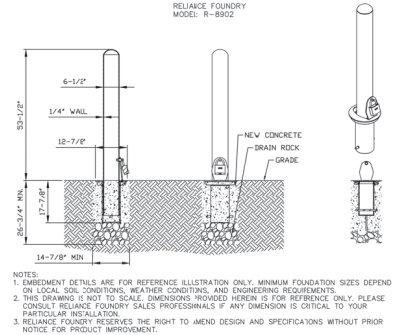
7 REMOVABLE BOLLARD  
N.T.S.  
P-J01-08



8 CONCRETE SIDEWALK DETAIL  
1/4" = 1'-0"  
P-J01-12




9 PAVERS AT UTILITY MANHOLE (ALT 2)  
3/4" = 1'-0"  
P-J01-5




10 PAVERS AT UTILITY VALVE BOX, LAMP BASE, ETC. (ALT 1)  
3/4" = 1'-0"  
P-J01-16

ISSUED FOR BID - 11/14/2025



# CRANSTON



REV #	DATE	DESCRIPTION

## JONES ALLEY IMPROVEMENTS PROJECT

### HARDSCAPE DETAILS

DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	AS SPECIFIED
JOB No.	2024-0328
DRAWING No.	L501

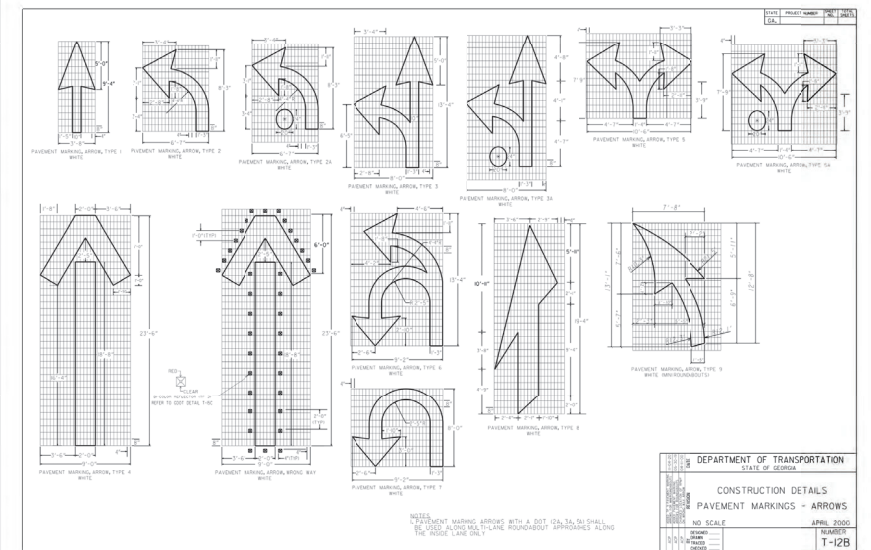
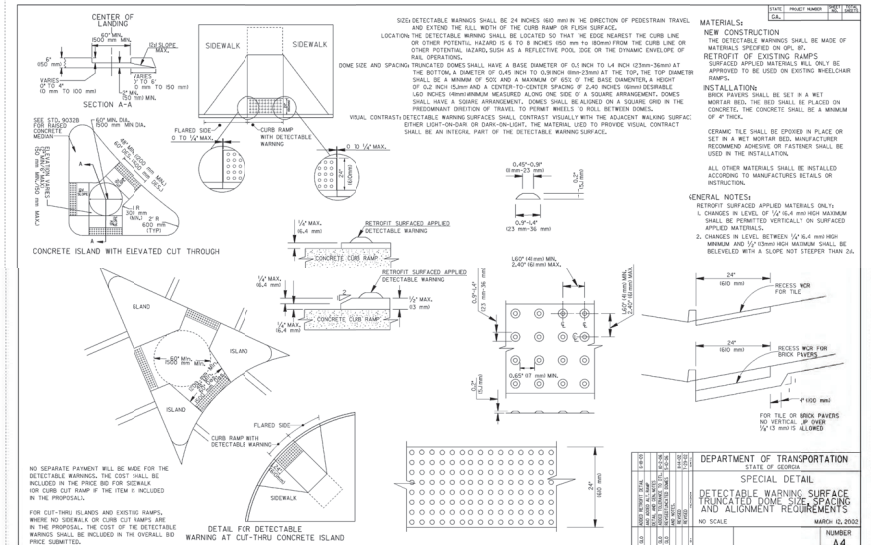














L505



C:\WORK\2024\2024-0324-JONES ALLEY IMPROVEMENTS\AC-DRAINAGE\LANDSCAPE\EROSIONCONTROL\2024-0324-EROT-DWG 11/19/2025 2:25 PM

GSWCC AND NPDES NOTES:

PROJECT NAME: JONES ALLEY IMPROVEMENTS PROJECT  
ADDRESS: JONES STREET ALLEY  
CITY/COUNTY: AUGUSTA/ROCKHOLD  
DATE ON PLANS: 11/14/2025  
ZIP CODE: 30901

☒ GAR 10001 ☐ GAR 10002 ☐ GAR 10003  
STAND ALONE INFRASTRUCTURE COMMON DEVELOPMENTS

1. THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED.

2. LEVEL B CERTIFICATION: NAME: GSWCC ENGINEER NO. XXXXXX EXP. DATE: XX-XX-XX

24 HOUR CONTACT: WALT CORBIN, PE  
708-621-1711  
WCORBIN@AUGUSTA.GOV

4. PRIMARY PERMITTED: CITY OF AUGUSTA  
533 TULFAR ST  
AUGUSTA, 30901  
708-789-4040  
WCORBIN@AUGUSTA.GOV

5. TOTAL DISTURBED ACREAGE OF THIS PROJECT: 0.70 ACRES

TOTAL PROJECT ACREAGE: 0.70 ACRES

6. CONSTRUCTION EXT: N33.476550

W81.967146

7. THE INITIAL DATE ON PLANS IS 11/14/2025, REVISIONS ARE TO BE RESUBMITTED TO THE LOCAL ISSUING AUTHORITY, THE ENTITY REQUESTING THE REVISIONS, THE DATE THE CHANGE WAS MADE, AND THE NATURE OF THE CHANGE WILL BE DENOTED IN THE DESIGNATED AREA ON THE PLAN SHEET.

8. NATURE OF CONSTRUCTION ACTIVITY: THE DEVELOPMENT OF THE JONES STREET ALLEY.

9. VICINITY MAP IS PROVIDED ON SHEET L601.

10. PROJECT RECEIVING WATERS:

RECEIVING: SAVANNAH RIVER

ULTIMATE: SAVANNAH RIVER

11. "I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

[LEVEL B CERTIFICATION: NAME: GSWCC ENGINEER NO. XXXXXX EXP. DATE: XX-XX-XX]

12. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF DISTURBED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

13. THERE ARE NO BUFFER ENCROACHMENTS ON THIS PROJECT. IF YES, REFER TO SHEET(S) N/A FOR BUFFER DESCRIPTIONS.

14. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

15. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

16. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14-DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

17. BMPs FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS:

LOCAL, STATE, AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO ALL ON-SITE PERSONNEL.

MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA. TYPICAL MATERIALS AND EQUIPMENT INCLUDE, BUT IS NOT LIMITED TO: BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST, AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.

SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS.

FOR SPILLS THAT IMPACT SURFACE WATER (I.E. LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24-HOURS AT 1-(800)-426-2675.

FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24-HOURS AT 1-(800)-426-2675.

FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION (EPA) WILL BE CONTACTED WITHIN 24-HOURS. GA. EPA (404)-656-4863 OR (800)-241-4115 AND THE NATIONAL RESPONSE CENTER AT (800)-424-9802

FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1,250 GALLONS OF PETROLEUM IS STORED ON-SITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. IN SUCH A CASE, THE CONTRACTOR WILL NEED A SPILL PREVENTION, CONTAINMENT, AND COUNTERMEASURES PLAN PREPARED BY A LICENSED PROFESSIONAL.

18. SEE THIS SHEET FOR DETAILED TIMELINE OF MAJOR CONSTRUCTION ACTIVITIES.

19. GRAPHIC SCALE AND NORTH ARROW PROVIDED ON PLAN SHEETS L601.

20. THE CONTOUR INTERVAL ON PLAN SHEETS L601 IS 1'.

21. ARE ALTERNATE BMPs TO BE USED ON THIS PROJECT: NO.

22. THE DELINEATION OF THE APPLICABLE 25-FOOT OR 50-FOOT UNDISTURBED BUFFERS ADJACENT TO STATE WATERS AND ANY ADDITIONAL BUFFERS REQUIRED BY THE LOCAL ISSUING AUTHORITY CAN BE FOUND ON PLAN SHEET(S) N/A.

23. THE DELINEATION OF ALL ON-SITE WETLANDS AND ALL STATE WATERS LOCATED WITHIN 200 FEET OF THE PROJECT SITE, IF APPLICABLE, CAN BE FOUND ON PLAN SHEETS N/A.

24. DELINEATION AND ACREAGE OF CONTRIBUTING DRAINAGE BASINS ON THE PROJECT SITE CAN BE FOUND IN THE HYDROLOG SUMMARY.

25. ESTIMATE OF RUNOFF COEFFICIENT OF THE SITE PRIOR TO AND AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED. PRE: 0.85 POST: 0.85.

26. STORM DRAIN PIPE AND WEIR VELOCITIES WITH APPROPRIATE OUTLET PROTECTION:

STORM DRAIN PIPE Q, V, L, W, D, AND SIZE PROVIDED ON SHEET N/A.

27. SOIL SERIES FOR THE PROJECT SITE AND THEIR DELINEATION IS PROVIDED ON SHEET L600.

28. THE LIMITS OF DISTURBANCE FOR EACH PHASE OF CONSTRUCTION IS PROVIDED ON PLAN SHEET L601.

29. SEE CALCULATIONS PROVIDED ON THIS SHEET FOR SEDIMENT STORAGE REQUIREMENTS.

30. THE LOCATION OF BEST MANAGEMENT PRACTICES ARE CONSISTENT WITH AND NO LESS STRINGENT THAN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. UNIFORM CODING SYMBOLS FROM THE MANUAL, CHAPTER 6, WITH LEGEND ARE PROVIDED ON SHEETS L601.

31. DETAILED DRAWINGS FOR ALL STRUCTURAL PRACTICES ARE PROVIDED ON SHEET(S) L602 - L603.

32. VEGETATION PRACTICES:

1. SEPTEMBER 15 - FEBRUARY 15, A MIXTURE OF UNHILLED COMMON BERMUDA 6 LBS./ACRE AND RYE GRASS SEED 24 LBS./ACRE APPLIED SMALL-TRECKS.

2. OCTOBER 1 - MARCH 1, UNHILLED COMMON BERMUDA 10 LBS./ACRE.

3. APRIL 1 - JUNE 1, HILLED COMMON BERMUDA 10 LBS./ACRE.

4. FERTILIZER GRADE WILL BE A COMMERCIAL 6-12-12 INCORPORATED INTO THE SOIL AT 1500 LBS./ACRE, ALSO 1500 LBS. DOLOMITE LIME.

5. NOT LESS THAN 30 DAYS AFTER SEEDING, APPLY AMMONIUM NITRATE (NOT LESS THAN 20% NITRATE) AT A RATE EQUAL TO NITROGEN OF AVAILABLE NITROGEN/ACRE. APPLICATION BETWEEN JUNE THRU AUGUST.

6. ALL SEEDING AREAS WILL BE MULCHED WITH STRAW OR HAY MULCH AT A RATE OF 2.5 TONS/ACRE.

7. FOR ALL DATES NOTED UNDER THE GRASSING SCHEDULE THE DISTURBED SOIL SHALL BE TEMPORARILY STABILIZED USING POLYACRYLAMIDE.

8. CONTRACTOR TO ENSURE THAT EXISTING ON-SITE VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION IS PRESERVED AND THAT ALL DISTURBED PORTIONS OF THE SITE ARE STABILIZED.

9. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

STORMWATER CALCULATIONS:

1. REQUIRED SEDIMENT STORAGE: TOTAL AREA: 0.70 AC  
DISTURBED AREA: 0.70 AC  
SEDIMENT STORAGE REQUIRED: 67 CY \* 0.70 AC = 47 CY  
SEDIMENT STORAGE PROVIDED BY 541-NS: 120 CY

2. REQUIRED SEDIMENT STORAGE = 47 CY  
(67 CY/ACRE \* 0.70 ACRES DISTURBED AREA)

3. TOTAL REQUIRED SEDIMENT STORAGE: = 47 CY

4. TOTAL AVAILABLE SEDIMENT STORAGE: = 120 CY

5. IS THE AVAILABLE STORAGE (120 CY) GREATER THAN STORAGE REQUIRED (47 CY)?

YES NO

SILT FENCE SEDIMENT STORAGE CALCULATION:

DISTURBED AREA DRAINING TO SILT FENCE: 0.70 ACRES

STORAGE CALCULATIONS:

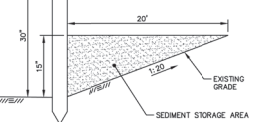
1. REQUIRED SEDIMENT STORAGE = 67 CY/AC \* 0.70 AC = 47 CY

2. LENGTH PROVIDED = 260 LF

3. STORAGE PROVIDED = AREA \* LENGTH PROVIDED

STORAGE PROVIDED = 12.50 SF \* 260 LF = 3250 CF

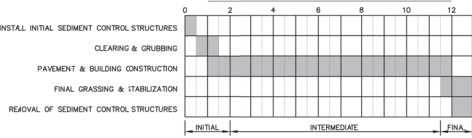
STORAGE PROVIDED = 3250 CF / 27 CF/CY = 120.0 CY



APPROXIMATE START DATE: ---

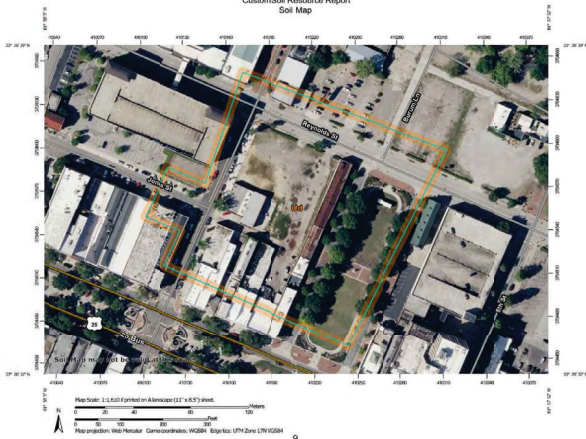
APPROXIMATE FINISH DATE: ---

MONTHS OF CONSTRUCTIONS ACTIVITIES



NOTES:  
1. ALL DISTURBED AREAS NOT INTENDED FOR PAVING SHALL BE STABILIZED USING TEMPORARY MEASURES D62 AND PERMANENT MEASURES D63.

CustomSoil Resource Report  
Soil Map



CRANSTON



REV #	DATE	DESCRIPTION

JONES ALLEY IMPROVEMENTS  
PROJECT

EROSION CONTROL NOTES

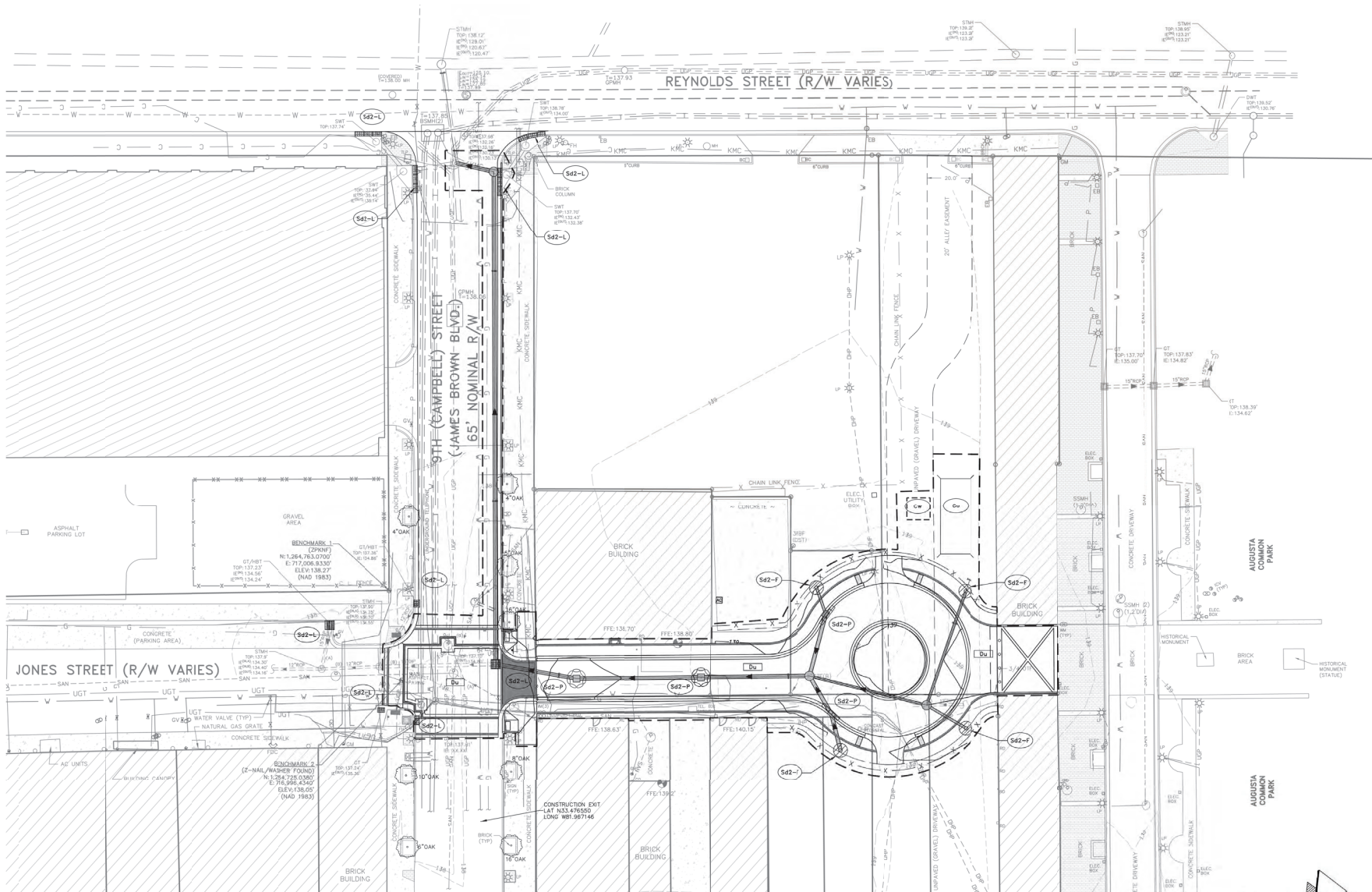
DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	AS SPECIFIED
JOB No:	2024-0328
DRAWING No:	L600

ISSUED FOR BID - 11/14/2025





\\G:\K12\2024\2024-0328-JONES STREET IMPROVEMENTS\AC-DRAWINGS\ANSICAW - SHOOTING\2024-0328-EROC.DWG 11/19/2025 2:25 PM



**EROSION CONTROL NOTES:**

1. ALL BMP's SHALL BE INSPECTED DAILY AND REPAIRED AS NECESSARY.
2. THE ONLY STORM WATER POLLUTANT ANTICIPATED DURING CONSTRUCTION IS SEDIMENT. THE BMP'S INCLUDED ON THIS PLAN ARE DESIGNED TO REDUCE THE SEDIMENT DEPOSITION ONTO DOWNSTREAM PROPERTIES & RECEIVING WATERS.
3. INLET SEDIMENT TRAPS, AS SHOWN, SHALL BE CONSTRUCTED AS SOON AS THE CATCH BASINS ARE INSTALLED.
4. ALL NEWLY GRADED AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE AND WILL NOT BE IMPACTED BY UTILITY CONSTRUCTION SHALL BE STABILIZED USING TEMPORARY SEEDING AND MULCHING WITHIN 14 DAYS OF THE END OF DISTURBANCE.
5. THE CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES FOR ALL DISTURBED AREAS BY WATER TRUCK.
6. THE CONCRETE WASHOUT SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF PAVING OPERATIONS.

**EROSION CONTROL LEGEND:**

- Cs CONSTRUCTION EXIT
- Cw CONCRETE WASHOUT
- S41-NS SEDIMENT BARRIER - NON-SENSITIVE AREAS
- S42-F INLET SEDIMENT TRAP WITH FILTER FABRIC
- S42-L CURB SEDIMENT TRAP (LOW PROFILE)
- S42-P CURB SEDIMENT TRAP
- Du DUST CONTROL ON DISTURBED AREAS

PLAN  
HORIZONTAL SCALE 1"=20'  
SCALE IN FEET



ISSUED FOR BID - 11/14/2025



JONES ALLEY IMPROVEMENTS  
PROJECT

EROSION CONTROL PLAN

DRAWN BY: BMR  
CHECKED BY: RSD  
APPROVED BY: RSD  
DATE: 11/14/2025  
SCALE: 1" = 20'  
JOB No. 2024-0328  
DRAWING No.

L601



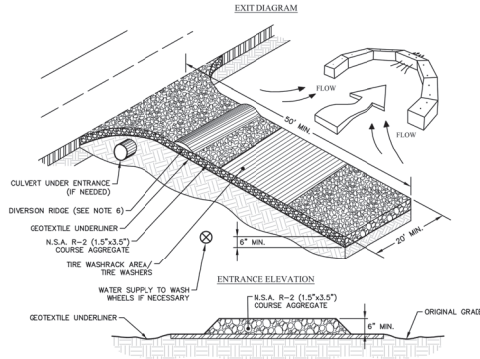
\\V:\A\CT\2024\2024-0326\_JONES ALLEY IMPROVEMENTS\AC-DRAWINGS\ANSICAWP\_ARCHITECTURE\2024-0326\_EROT.DWG 11/19/2025 2:22 PM

## STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
<b>Co</b>	CONSTRUCTION EXIT			A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES THEREBY PROTECTING PUBLIC STREETS.
<b>Cw</b>	CONCRETE WASHDOWN			EXCAVATED AREA MARKED WITH ORANGE FENCING USED FOR CONCRETE WASHDOWN OF TOOLS & CRATES.
<b>Sd1</b>	SEDIMENT BARRIER			A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS, BALES OF STRAW OR HAY, BRUSH, LOGS AND POLES, GRAVEL OR A SILT FENCE.
<b>Sd2</b>	INLET SEDIMENT TRAP			A TEMPORARY PROTECTIVE DEVICE FORMED AT OR AROUND AN INLET TO A STORM DRAIN TO TRAP SEDIMENT.

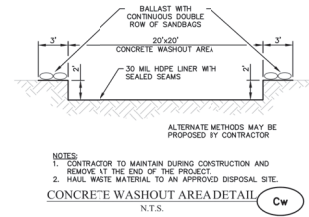
## VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
<b>Du</b>	DUST CONTROL ON DISTURBED AREAS			CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITE, ROADWAYS AND SIMILAR SITES.



- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
  2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
  3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5" - 3.5" STONES).
  4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
  5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
  6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
  7. INSTALL PIPE UNDER THE ENTRANCE, IF NEEDED, TO MAINTAIN DRAINAGE DITCHES.
  8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (CONVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
  9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
  10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CRUSHED STONE  
CONSTRUCTION OUTLET  
N.T.S. **Co**



MULCHES (SEE Ds1)

SEE Ds1 - DISTURBED AREA STABILIZATION (MULCHING ONLY). REFER TO SPECIFICATION TO: (TACKFIBER FOR THE USE OF SYNTHETIC HELIX TO BIND MULCH MATERIAL.

VEGETATIVE COVER (SEE Ds2)

SEE Ds2 - DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING).

SPRAY-ON ADHESIVES

FOR USE ON MINERAL SOILS NOT MUCK SOILS REFER TO SPECIFICATION TO: - TACKFIBERS.

TILLAGE

DESIGNED TO RELOUSE AND BRING CLOSD TO THE GRS SURFACE. BEGIN PLOWING ON INWARD SIDE OF SITE. USE CHISEL-TYPE PLOW TO ACHIEVE DESIRED EFFECT. THIS IS AN EMERGENCY MEASURE TO BE USED BEFORE WIND EROSION STARTS.

IRRIGATION

SPRINKLE THE SITE WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.

BARRIERS

USE SOLID BOARD FENCE, SNOW FENCE, BURLAP FENCE, CRATE MULLS, BALES OF HAY OR SIMILAR MATERIAL TO CONTROL AIR CURRENTS AND SOIL BLOWING. PLACE BARRIERS AT RIGHT ANGLES AT INTERVALS OF 1X THEIR HEIGHT TO CONTROL WIND EROSION.

CALCIUM CHLORIDE

APPLY AT A RATE TO KEEP THE SURFACE MOIST.

### PERMANENT METHODS:

PERMANENT VEGETATION

SEE Ds3 - DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING). EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION F LEFT IN PLACE.

STONE

COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL. SEE SPECIFICATION C - CONSTRUCTION ROAD STABILIZATION.

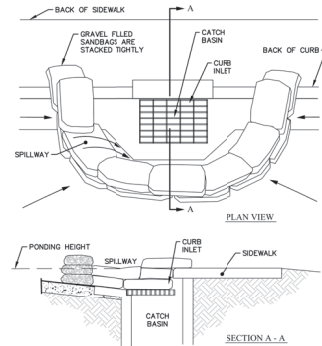
TOP SOILING

SEE SPECIFICATION Tp - TOP SOILING

### MAINTENANCE

PROHIBIT TRAFFIC ON SURFACE AFTER SPRAYING. SUPPLEMENT SURFACE COVERING AS NEEDED.

### DUST CONTROL ON DISTURBED AREAS **Du**



SEDIMENT BARRIER (GRAVEL BAGS) N.T.S. **Sd2-P**



ISSUED FOR BID - 11/14/2025

JONES ALLEY IMPROVEMENTS  
PROJECT

EROSION CONTROL DETAILS

DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	AS SPECIFIED
JOB No.	2024-0326
DRAWING No.	L602



CRANSTON





**Installation:**

1. Clean dirt and debris from grating
2. Place Inlet Guard on top of grating
3. Line up fabric with grating ensuring magnets stick securely

### Maintenance

- Remove built up sediment from Ultra-Inlet Guard Plus and surrounding area as needed
- Remove sediment and debris from overflow port
- Inspect periodically and after every significant rain event for misalignment
- Inspect periodically for wear and tear and premature damage



**Product:** Ultra-Inlet Guard

**Manufacturer:**  
Ultratech International, Inc.  
11542 Davis Creek Court  
Jacksonville, FL 32256 USA

**Email:** [info@stormwaterproducts.com](mailto:info@stormwaterproducts.com)  
[www.stormwaterproducts.com](http://www.stormwaterproducts.com)



### 1.0 Description of Work

1.1 This work shall consist of furnishing, installing, maintaining, and removing Ultra-Inlet Guard sediment control device as directed by the engineer or as shown on the site drawings.

## 2.0 Ultra-Inlet Guard Materials

## 2.1 There two types of Ultra-Inlet Guard

Ultra-Inlet Guard (Standard) - Overflow included  
Ultra-Inlet Guard - Curb-Style - Overflow included

2.2 Ultra-Inlet Guard shall be manufactured from a specially designed nonwoven polypropylene geotextile and sewn by a double needle machine, using a high strength nylon thread.

2.3 Ultra-Inlet Guard shall be manufactured to fit the opening of the catch basin or drop inlet. Ultra-Inlet Guard will have the following features: rare earth magnets encased in the fabric of the unit. Ultra-Inlet Guard shall have a large overflow port in the center of the unit as a preventative measure for flooding/ponding.

2.4 The Ultra-Inlet Guard unit shall utilize a nonwoven fabric with the following characteristics:

UltraTech International, Inc. • 11542 Davis Creek Court, Jacksonville, Florida 32256 USA  
1.804.292.5611 • [stormwaterproducts.com](http://stormwaterproducts.com)

Rev. 02.19.25

### Specifications for Ultra-Inlet Guard

Property	Test Method	Units	Test Results
Grab Tensile	ASTM D4632	lbs	297 x 223
Grab Elongation	ASTM D4632	%	58 / 59
Puncture	ASTM D6241	lbs	99
Trapezoid Tear	ASTM D4533	lbs	81 x 75
AOS	ASTM D4751	US Sieve	60
Flow Rate	ASTM D4491	gal/min/#	92
Permittivity	ASTM D4491	sec <sup>-1</sup>	2.60

### 3.0 Construction Sequence

3.1 To install Ultra-Inlet Guard in the catch basin, remove any excess dirt or debris and place the unit on the grate insuring magnets attach securely.

3.2 To remove Ultra-Inlet Guard, remove any build-up of sand, dirt, sediment, trash and debris and lift up.

3.3 Ultra-Inlet Guard is reusable. Once the construction cycle is complete, remove Inlet Guard from the grating and clean. Ultra-Inlet Guard should be stored out of sunlight until the next use.

#### 4.0 Basis of Payment

4.1 Payment for all Ultra-Inlet Guard units used during construction is to be included in the bid price for the overall erosion and sediment control plan unless unit price is requested.

Note: This information is provided as reference only and is not intended as a warranty or guarantee. UltraTech International, Inc. assumes no liability in connection with the use of this information (8/1/24).

UltraTech International, Inc. • 11542 Davis Creek Court, Jacksonville, Florida 32256 USA  
1-904-292-1611 • [stormwaterproducts.com](http://stormwaterproducts.com)

CURB INLET  
SEDIMENT BARRIER (LOW PROFILE)  
N.T.S.

ISSUED FOR BID - 11/14/2025



# CRANSTON

[illegible]

## JONES ALLEY IMPROVEMENTS PROJECT

## EROSION CONTROL DETAILS

DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	AS SPECIFIED
JOB No.	2024-0328
DRAWING No.	

L603





3. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) 2012, INCLUDING SPECIAL INSPECTIONS IN ACCORDANCE WITH CHAPTER 17.
4. SPECIAL INSPECTIONS REPORTS AND A FINAL REPORT SHALL BE SUBMITTED TO THE SUBMITTER OF THE CONTRACT PRIOR TO THE TIME THAT PHASE OF WORK IS APPROVED FOR CONSTRUCTION.
5. WHERE A SECTION OR DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY TO ALL OTHERS UNLESS OTHERWISE NOTED.
6. COORDINATE ALL LIMITS AND DEPTHS OF DEPRESSIONS FOR FLOOR FINISHES WITH ARCHITECTURAL DRAWINGS AND SCHEDULES. LIMITS SHOWN ON STRUCTURAL DRAWINGS ARE TO BE MAINTAINED.
7. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WORK NOT SCALE OF THE DRAWING.
9. CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS AND ELEVATIONS SHOWN HEREIN WITH ARCHITECTURAL PLANS, SECTIONS, AND DETAILS PRIOR TO CONSTRUCTION OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ELEVATIONS. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS.
10. DIMENSIONS SHOWN HEREIN ARE APPROXIMATE.
11. DIMENSIONS INDICATED RELATIVE TO EXISTING STRUCTURE ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OR MATERIALS INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT OR ENGINEER IN WRITING OF DISCREPANCIES.
12. SPECIFIED ANCHOR SYSTEM SHALL BE INSTALLED IN STRUT CONNECTIONS WITH THE FOLLOWING: DRILLING AND PREPARATION OF HOLES. WHERE ADHESIVE ANCHORS ARE SHOWN, SPECIAL ATTENTION SHALL BE GIVEN TO THE REQUIREMENT, NAME, APPLICATION AND CURE OF THE ADHESIVE.

[illegible]

1. FOUNDATION DESIGN IS BASED ON A PRESUMPTIVE 1500 PSI MAXIMUM ALLOWABLE SOIL BEARING PRESSURE. PRIOR CONSTRUCTION, ACTUAL SOIL CONDITIONS SHALL BE TESTED TO VERIFY.
2. ALL FOUNDATION FILL SUBGRADE SOILS SHALL BE COMPACTION AS FOLLOWS: (REF. ASTM D 1557)
  - A. 15% STANDARD PROCTOR FOR GREATER THAN 1" BELOW FINAL FILL.
  - B. 85% STANDARD PROCTOR FOR THE UPPER 1" BENEATH FLOORS AND PAVEMENTS.
  - C. 95% STANDARD PROCTOR FOR ALL OTHER AREAS.
3. ALL FOUNDATION FILL SHALL BE COMPACTED TO 98% TO 100% AS REQUIRED BY THE ASTM D860. RATE OF COMPACTION SHALL BE AS FOLLOWS:
  - A. ONE TEST FOR EACH 1000 SF OF FILL.
  - B. ONE TEST FOR EACH 40 LINEAR FEET OF CONTINUOUS FOOTING.
  - C. ONE TEST FOR EACH 1000 SF OF SLAB.
4. ALL WATER AND SOIL REMOVED FROM EXCAVATIONS PRIOR TO PLACING CONCRETE. FILL REMAINING Voids WITH ADDITIONAL CONCRETE.
5. SUPPORT ALL BOTTOM REINFORCEMENT IN FOUNDATION WITH WHOLE CONCRETE BRICKS.
6. ALL REINFORCING SHALL BE 60,000 PSI YIELD STRENGTH.
7. ALL FOOTING AND OTHER FOUNDATION REINFORCING SHALL BE TIED IN PLACE PRIOR TO POURING CONCRETE.
8. WHERE FINISHED GRADES DIFFER ON OPPOSITE SIDES OF FOUNDATION WALLS, PROVIDE TIE-RODS THROUGH WALLS. PREVENT LATERAL MOVEMENT UNTIL ADJACENT FILLING.
9. ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" THICKNESS. UNLESS INDICATED ON FOUNDATION PLAN, VERTICAL STEPS IN FOOTINGS TO BE MAXIMUM 2" VERTICAL SPACING NO LESS THAN 4" OR 0.0 C. HORIZONTALLY TO MAINTAIN MINIMUM 2" CLEARANCE.
10. WHERE GRAVITY PLUMBING LINES  $\varnothing$  4" OR 0.0 TOP OF WALL FOOTING, STEP FOOTING SHALL BE USED TO CLEAR PLUMBING LINES. THERE SHALL BE NO HORIZONTAL INTERFERENCE OFF AT GRAVITY SERVICE UNLESS OTHERWISE SPECIFIED. COORDINATE WITH PLUMBING DRAWINGS FOR LOCATIONS, SIZES AND INVERTS.
11. CONSTRUCTION OF ALL FOUNDATION FOOTINGS TO BE FORMED VERTICALLY WITH 1:6 SLOPE IN HORIZONTAL REINFORCING.
12. CONSTRUCTION JOINTS IN CONTINUOUS FOOTINGS TO BE FORMED VERTICALLY IN

- A. ACI 318 - CODE
- B. ACI 315 - DETAILING
- C. ACI 301 - SPECIFICATIONS
- D. ACI 304 - PLACING
- E. ACI 347 - FORMWORK
- F. ACI 211.1 - MIX PROPORTIONING
- G. ACI 305 - HOT WEATHER CONCRETING
- H. ACI 306 - COLD WEATHER CONCRETING

2. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE (145 PCF) WITH MIXES DESIGN THE FOLLOWING CRITERIA:

STRUCTURAL ELEMENT	28 DAY COMPRESSIVE STRENGTH
--------------------	-----------------------------

APPLICABLE MASONRY CODES

1. **AS 402-8 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES**

2. **AS 602-8 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES**

3. **CONCRETE MASONRY UNITS SHALL BE LOAD BEARING TYPE CONFORMING TO ASTM C-90 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 1500 PSI**

4. **ALL CELLS BELONGING TO THE SAME COURSE SHALL BE OF THE SAME TYPE OF COURSE OR CONCRETE**

5. **MORTAR SHALL CONFORM TO ASTM C-270 TYPE S**

6. **REINFORCING BARS SHALL BE EPOXY COATED TYPE 60 STEEL TO BE FILLED IN MAXIMUM OF 4" OF LIFTS**

7. **FILL SHALL BE MECHANICALLY MIXED ASHTA CLASS COURSE GRADE OR EQUIVALENT WEIGHT CONCRETE (ASTM C44) WITH MAX 1/2" COARSE AGGREGATE HAVING NOT MORE THAN 3,000 PSI COMPRESSIVE STRENGTH**

8. **PLAIN AND TOP TWO CELLS SHALL BE USED FOR BLOCKS THAT ARE TO HAVE CELLS REINFORCED OR FILLED** **WELLS SHALL ADJACENT TO CELLS THAT ARE TO BE FILLED ARE TO BE FILLED WITH CONCRETE**

9. **FILL CELLS AS NOTED ON DRAWINGS WITH 3000 PSI GROUT CONFORMING TO ASTM C-478 SPECIFICALLY DESIGNED FOR FILLING CELLS**

10. **REINFORCING TO BE APPLIED AS NOTED IN SCHEDULE AT DOWELS AND BRAGS (I.N.O.)**

11. **HORIZONTAL JOINT REINFORCING TO BE CONTINUED THROUGH REINFORCED CELLS**

12. **REINFORCE 3 GA. MESH REINFORCING TO BE USED IN ALL HORIZONTAL JOINT REINFORCING CONFORMING TO ASTM A924 AT 16" O.C. OR AS NOTED ON DRAWINGS.**

13. **SEE ARCHITECTURAL DRAWINGS FOR THE EXTENT AND EXACT LOCATION OF MASONRY**

14. **WALL CONTROL JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING**

15. **WALL CONTROL JOINTS SHALL BE PROVIDED IN ALL CONCRETE MASONRY WALLS AT**

16. **VERTICAL JOINTS LOCATED ON THE STRUCTURAL DRAWINGS BUT AT A SPACING NOT GREATER THAN 24" O.C.**

17. **HORIZONTAL JOINT**

18. **WALL CONTROL JOINT REINFORCING SHALL BE INTERRUPTED AT EACH SIDE OF WALL**

19. **WALL CONTROL JOINTS SHALL NOT BE PLACED OVER OPENINGS OR WITHIN JAMB WIDTH**

20. **WALL CONTROL JOINTS SHALL BE PLACED OVER DOOR OR LOW WINDOW OPENINGS WITH**

21. **REINFORCEMENT AS SHOWN ON PRECAST UNITS DESIGNED FOR THE WEIGHT OF**

22. **MASONRY ABOVE AND ALL OTHER APPLIED LOADS**

23. **WALL CONTROL JOINTS SHALL BE PLACED OVER 12" DEEP INTERMEDIATE BOND BEAMS AT**

24. **MAXIMUM 8" O.C. VERTICALLY. REINFORCE WITH (2) #5 CONTINUOUS BARS AS NOTED ON**

25. **THE PLANS. INTERRUPT REINFORCE CONTROL JOINTS. PROVIDE BOND BEAM AT TOP OF**

26. **ALL WALLS**

27. **PROVIDE (2) #5(2)X4" HORIZONTAL CORNER BARS AT CHANGES IN DIRECTION OF BOND**

28. **BEAM. PROVIDE 20" DEEP INTERRUPTED BY OPENINGS, HOOK 12" INTO REINFORCED JAMB**

29. **AND 12" INTO REINFORCED LATCH. PROVIDE 20" DEEP INTERRUPTED BY OPENINGS SHALL BE**

30. **DISCONTINUOUS ABOVE LATCH BEARING AS FOLLOWS:**

31. **A. OPENING 4" TO 5'-2" CONTINUE JAMB REINFORCING 2' ABOVE OPENING**

32. **B. OPENING OVER 5'-2" CONTINUE JAMB REINFORCING 4' ABOVE OPENING**

33. **ALL MASONRY WALLS SHOWN ON THESE STRUCTURAL DRAWINGS HAVE BEEN DESIGNED TO**

34. **RESIST THE REQUIRED VERTICAL AND LATERAL FORCES IN THE FINAL CONFIGURATION ONLY.**

35. **REINFORCING SHALL BE PLACED AS NOTED ON DRAWINGS. PROVIDE REINFORCING WALLS**

36. **FOR VERTICAL AND LATERAL LOADS THAT COULD POSSIBLY BE APPLIED PRIOR TO**

37. **COMPLETION OF LATERAL SUPPORT BY CONNECTIONS AT FLOOR OR ROOF FRAMING**

38. **LOCATIONS**

39. **UNLESS SHOWN OTHERWISE IN WALL DETAILS, PLACE ONE VERTICAL #5 BARS IN FULLY**

40. **GROUTED CELLS (4" OR 6" MINIMUM) ALONG THE LENGTH OF WALLS. VERTICAL BARS TO**

41. **BE PLACED IN ALL FULLY GROUTED CELLS. PROVIDE 1/2" MINIMUM GROUT PERIODS**

42. **AT THE BOTTOM OF BOND BEAMS AT TOP OF WALL OR PARAPET 4" MINIMUM**

43. **UNLESS SHOWN OTHERWISE, ONE VERTICAL #5 BAR IN FULLY GROUTED CELL SHALL BE**

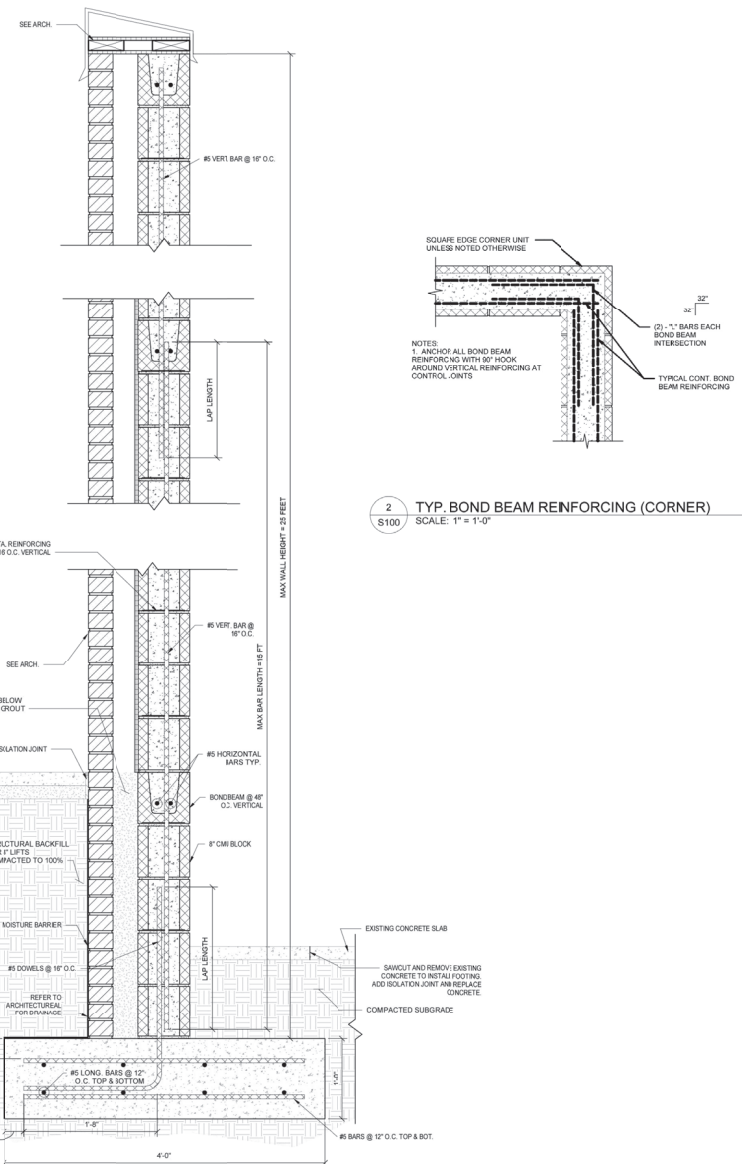
44. **PLACED IN ALL FULLY GROUTED CELLS. PROVIDE 1/2" MINIMUM GROUT PERIODS AND WINDOW**

45. **JAMBS, AND ON EACH SIDE OF MASONRY CONTROL JOINTS. VERTICAL BARS TO EXTEND**

46. **FROM FOOTING DOWEL BAR SPACE TO THE TOP OF WALL AND SHALL PENETRATE INTO THE**

1. ALL REINFORCING STEEL SHALL BE ASTM A 615, GRADE 60, UNLESS NOTED OTHERWISE.
2. ADDITIONAL REINFORCING AND THAT QUANTITY OF REINFORCING OCCURRING AT OPENINGS SHALL BE PLACED EQUAL TO THE QUANTITY OF REINFORCING REMOVED.
3. HOOKS IN REINFORCING ARE IN ADDITION TO LENGTH SHOWN.
4. REINFORCING IS TO BE SUPPORTED IN FORMS AND SPACED WITH WIRE BAR SPACERS.
5. ALL REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
- 5.1 WHERE REINFORCING BARS ARE NOTED AS CONTINUOUS, THE FOLLOWING REQUIREMENTS APPLY:
  - a. THE TERMINATION OF ALL CONTINUOUS REINFORCING BAR RUNS SHALL BE A STANDARD HOOK UNLESS NOTED OTHERWISE.
  - b. SPICES IN CONTINUOUS TOP BARS SHALL OCCUR OVER PARALLEL CMU WALLS OR AT THE CENTER OF THE CLEAR SPAN.
  - c. SPICES IN CONTINUOUS BOTTOM BARS SHALL OCCUR UNDER PERPENDICULAR CMU WALLS OR CENTERED OVER COLUMNS.
6. MINIMUM REINFORCING STEEL CLEAR COVERS ARE AS FOLLOWS:
  - a. CONCRETE CAST DIRECTLY AGAINST FORMWORK: 1" MINIMUM
  - b. ALL REINFORCING LAP SPICES SHALL FOLLOW THE TABLES PROVIDED BELOW.

REQUIRED LAP SPlice LENGTH IN MASONRY WALLS			REQUIRED LAP SPlice LENGTH FOR 4000 PSI CONCRETE	
BAR SIZE	8" CMU	12" CMU	BAR SIZE	LAP LENGTH
#4	24"	18"	#4	26"
#5	30"	20"	#5	32"
#6	54"	30"	#6	38"
			#7	82"
			#8	94"
			#9	106"
			#10	118"
			#11	132"



ISSUED FOR BID - 11/14/2025

## ONES ALLEY IMPROVEMENTS PROJECT

CMU WALL SECTION AND  
DETAILS

# CRANSTON

[illegible]

DRAWN BY:	KU
CHECKED BY:	JDU
APPROVED BY:	KU
DATE:	11/14/2025
SCALE:	AS SHOWN
JOB No.	2024-0328
DRAWING No.	

\$100



INDIA-DC\FOLDER\REDIRECTSIONS\LOGANDOCUMENTS\23077 JONES STREET ALLEY\TITLEBLOCK\2024-0308\_TB.DWG 6/5/2025 9:00 AM







# GENERAL DEMOLITION NOTES:

- GC TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GC TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS.
- GC TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION.
- EXISTING CONDITIONS & DEMOLITION NOTES BASED ON FIELD SURVEY. IF GC DISCOVERS EXISTING CONDITIONS VARY FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- GC TO PROVIDE TEMPORARY PROTECTION FOR ALL OPENINGS IN EXTERIOR WALLS. PROTECTION SHALL CONSIST OF 6 MIL. PLASTIC.
- COORDINATE DEMOLITION WITH ELECTRICAL, MECHANICAL, PLUMBING, & STRUCTURAL DRAWINGS.
- ALL DEMOLITION WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE 2016 EDITION OF NFPA 24, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, & DEMOLITION OPERATIONS.



# DEMOLITION NOTES:

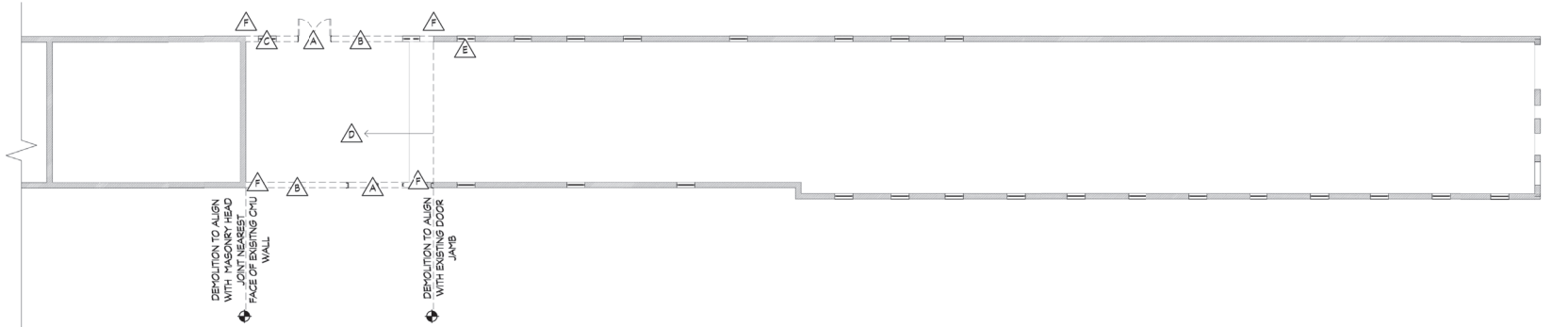
- REMOVE DOOR & FRAME IN THEIR ENTIRETY
- REMOVE SECTION OF BUILDING IN ITS ENTIRETY, INCLUSIVE OF FOOTING, ASSOCIATED WOOD SHORING SECOND FLOOR AND ROOF FRAMING. SALVAGE BRICK TO INFILL/REPAIR CUT ENDS
- REMOVE WINDOW & FRAME IN THEIR ENTIRETY
- REMOVE CONC SLAB ON GRADE
- REMOVE PORTION OF WALL FOR NEW OPENING
- REMOVE CUT BRICK IN A SAWTOOTH PATTERN

# DEMOLITION WALL LEGEND:

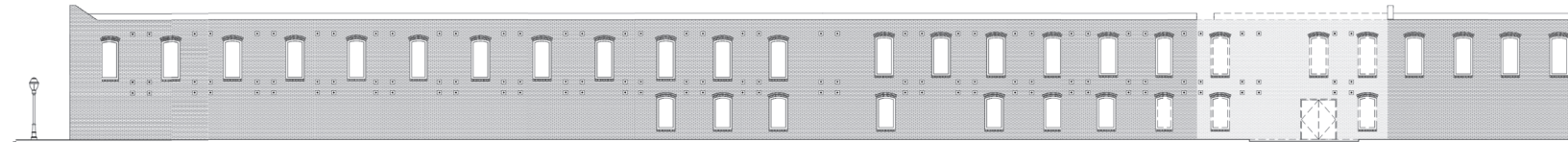
- EXISTING TO BE REMOVED  
 --- EXISTING TO REMAIN

# EXTERIOR FINISH KEY

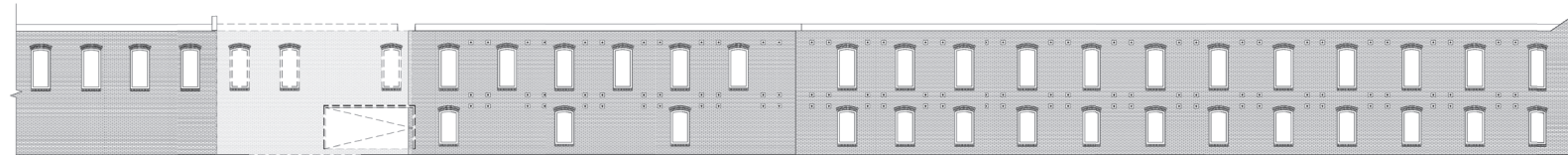
EXISTING MASONRY



1 DEMOLITION PLAN  
 SCALE: 1" = 10'-0"



2 WEST ELEVATION - DEMOLITION  
 SCALE: 1" = 10'-0"



3 EAST ELEVATION - DEMOLITION  
 SCALE: 1" = 10'-0"



ISSUED FOR BID - 11/14/2025

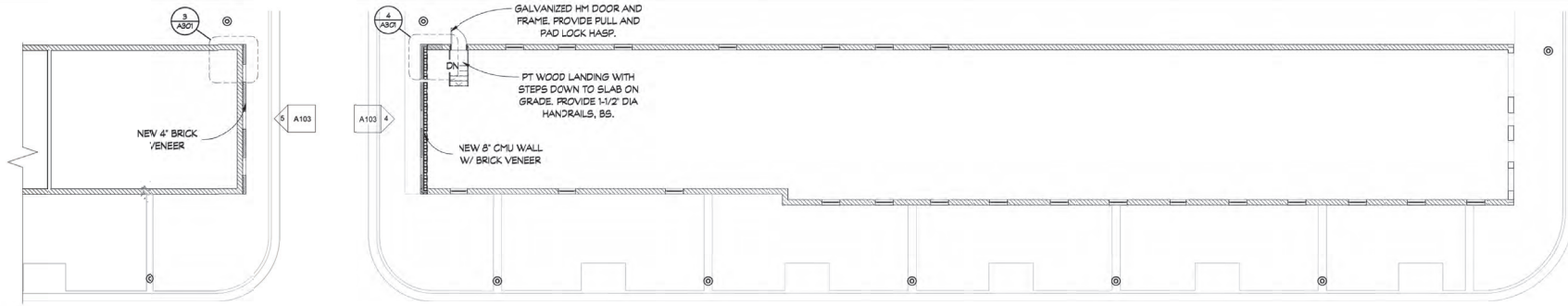
**CRANSTON**



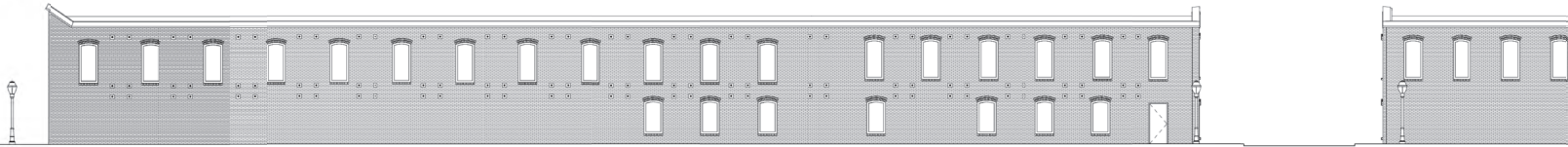
JONES STREET ROADWAY  
 AND  
 ALLEY IMPROVEMENTS  
 DEMOLITION PLANS &  
 ELEVATIONS

DRAWN BY: LOGAN TRUITT  
 CHECKED BY: NICHOLAS DICKINSON  
 APPROVED BY: NICHOLAS DICKINSON  
 DATE: 11/14/2025  
 SCALE: As indicated  
 JOB No. 23077  
 DRAWING No. D101

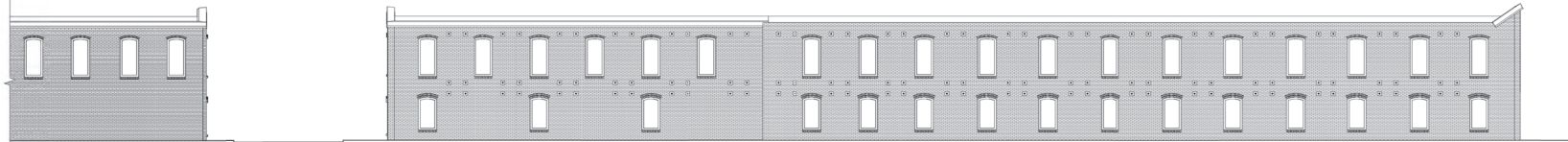




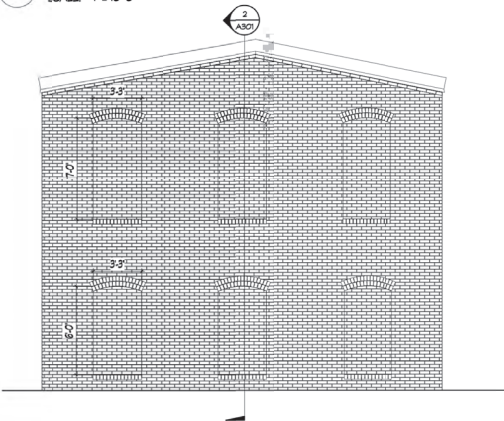
1 FLOOR PLAN - NEW WORK PLAN  
SCALE: 1" = 10'-0"



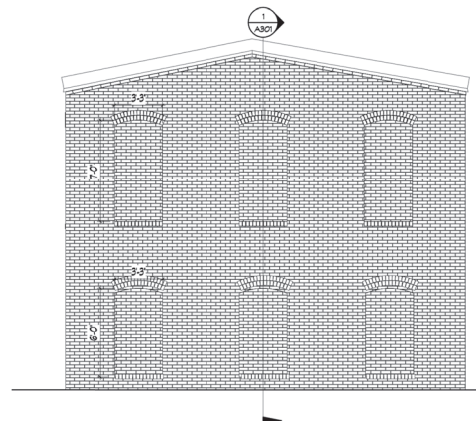
2 WEST ELEVATION - NEW  
SCALE: 1" = 10'-0"



3 EAST ELEVATION - NEW  
SCALE: 1" = 10'-0"



4 ELEVATION  
SCALE: 1/4" = 1'-0"



5 ELEVATION  
SCALE: 1/4" = 1'-0"

WALL LEGEND:

CMU WALL  
BRICK WALL

EXTERIOR FINISH KEY

EXISTING MASONRY

0' 1' 2' 4' 8' 16'

SCALE: 1/4" = 1'-0"

0' 5' 10' 20' 40'

SCALE: 1" = 10'



ISSUED FOR BID - 11/14/2025

**CRANSTON**



JONES STREET ROADWAY  
AND  
ALLEY IMPROVEMENTS  
NEW WORK PLAN &  
ELEVATIONS

DRAWN BY: LOGAN TRUITT  
CHECKED BY: NICHOLAS DICKINSON  
APPROVED BY: NICHOLAS DICKINSON  
DATE: 11/14/2025  
SCALE: As indicated  
JOB No. 23077  
DRAWING No.

A103





0' 6" 1' 2' 4'

SCALE: 1/2" = 1'-0"



# Cranston



JONES STREET ROADWAY  
AND  
ALLEY IMPROVEMENTS

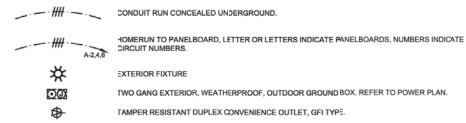
---

WALL SECTIONS & DETAILS

DRAWN BY:	LOGAN TRUITT
CHECKED BY:	NICHOLAS DICKINSON
APPROVED BY:	NICHOLAS DICKINSON
DATE:	11/14/2025
SCALE:	1/2" = 1'-0"
JOB No.	23077
DRAWING No.	

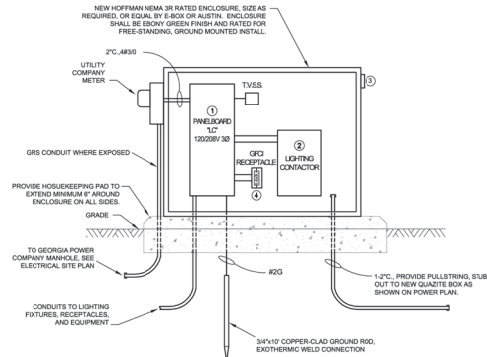
A301



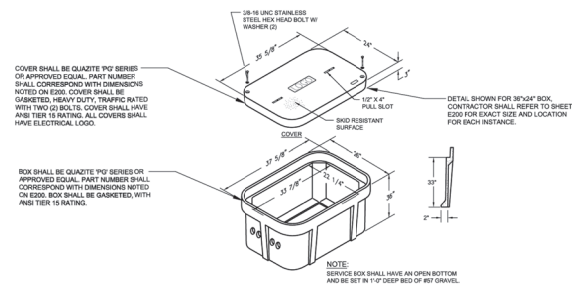


### POWER CENTER SCHEDULE

- ① PANELBOARD: 125/206V, 30, 4W, 200 AMP MAIN BREAKER, SEE PANELBOARD SCHEDULE
- ② CONTACTOR: 30 AMP/8 POLE, 120V OPERATING COIL, CONTROLLED BY PHOTOCELL (PC), PROVIDED WITH H.O.A. SWITCH, ON PHOTOCELL, OFF PHOTOCELL.
- ③ PHOTOCELL: LOCATE TO PREVENT NUISANCE TRIPPING. PHOTOCELL SHALL BE "WISTLOOK TYPE. COORDINATE WITH CITY UTILITIES.
- ④ GFCI RECEPTACLE ON CIRCUIT 8 OF PANEL BOARD "LC" IN POWER CENTER..



1 POWER CENTER DETAIL  
E100 SCALE: NOT TO SCALE

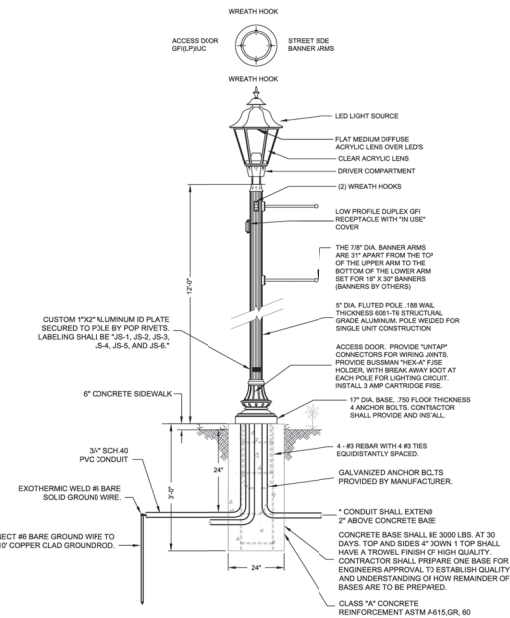


2 DETAIL - SERVICE BOX  
E100 SCALE: NONE

### FIXTURE DESCRIPTION

TYPE	DESCRIPTION	MANUFACTURE
A	LED POST TOP FIXTURE: FIXTURE SHALL HAVE TYPE FIVE (5) CHASERS. LUMINAIRE SHALL BE MOUNTED TO 1" FLUTED STERNBERG AUGUSTA SERIES 425 PFM POLE. POLE AND BASE SHALL BE ONE-PIECE ALUMINUM. FINISH SHALL BE AUGUSTA TEXTURED BLACK POWDER COAT. POLE SHALL INCLUDE SINGLE CONVENIENCE GFCI OUTLET, ONE SET OF WEATH HOOKS, BANNER ANVLS AND ACCESS DOOR. (80.7 IN/HT WATT)	STERNBERG 11930 LED HISTORIC SERIES
	LUMEN OUTPUT: 6900 LUMENS AT 3000K DRIVER: MULTI VOLT ELECTRONIC	

PANEL										LC																			
VOLTAGE: 208 / 120										MOUNTING: SURFACE																			
PHASE: 3										LOCATION: POWER CENTER																			
WIRE: 4										AIRC RATING: 42,000																			
SERVING										SERVING																			
LOAD (kW)										LOAD (VA)																			
LTD	REC	MTN	MCHT	KIT	MISC	BREAKER AMPS	CHT NO	A	B	C	CHT NO	P	AMP	MISC	KIT	MECH	MTR	REC	LTD										
0.7						20	-	1	1.4	2.4	2	1	20					0.7											
						20	-	3	2.4	0.8	4	1	20					0.8											
						20	-	5	1.4	0.8	1	1	20					0.8											
						A	20	-	7	0.4	8	1	20					0.2											
						A	20	-	9	0.4	10	1	20																
						A	20	-	11	0.0	0.0	13	1	20															
						20	-	13	0.0	0.0	14	1	20																
						20	-	15	0.0	0.0	16	1	20																
						20	-	17	0.0	0.0	18	1																	
						20	-	19	0.0	0.0	3	40																	
						20	-	21	0.0	0.0	22																		
						20	-	23	0.0	0.0	24																		
TOTAL KVA						1.8						2.8		0.8		0.0						0.1		0.0		1.6		0.7	
TOTAL KVA						TOTAL KVA																							
GENERAL NOTES																													
T	Lighting: 1.4 X 120V= 1.75																												
O	Receptacles: 4.4 NEC 220.44 + 4.4 1 -																												
D	Motors: 0.0 NEC 220.166 + 0.0 2 -																												
A	Mechanical: 0.0 X 120V= 0.0 3 -																												
T	Kitchen: 0.0 NEC 220.58 0.0																												
L	Miscellaneous: 0.0 X 120V= 0.0 A PROVIDE GFCI BREAKER																												
TOTAL KVA: 8.8 CODE AMP: 4.8 B										TOTAL KVA: 8.8 CODE AMP: 4.8 B																			
TOTAL AMPS: 46.1 CODE AMP: 17.5 C										TOTAL AMPS: 46.1 CODE AMP: 17.5 C																			
NOTES (REFER TO NOTES COLUMN)																													



3 DETAIL - POLE MOUNTED LIGHT, TYPE "A"  
E100 SCALE: NONE



ISSUED FOR BID - 11/14/2025

## JONES STREET ROADWAY AND ALLEY IMPROVEMENTS

## LEGEND, NOTES AND DETAILS

DRAWN BY:	MJ
CHECKED BY:	TB
APPROVED BY:	TB
DATE:	11/14/2025
SCALE:	AS SHOWN
JOB No.	2024-0328
DRAWING No.	E100



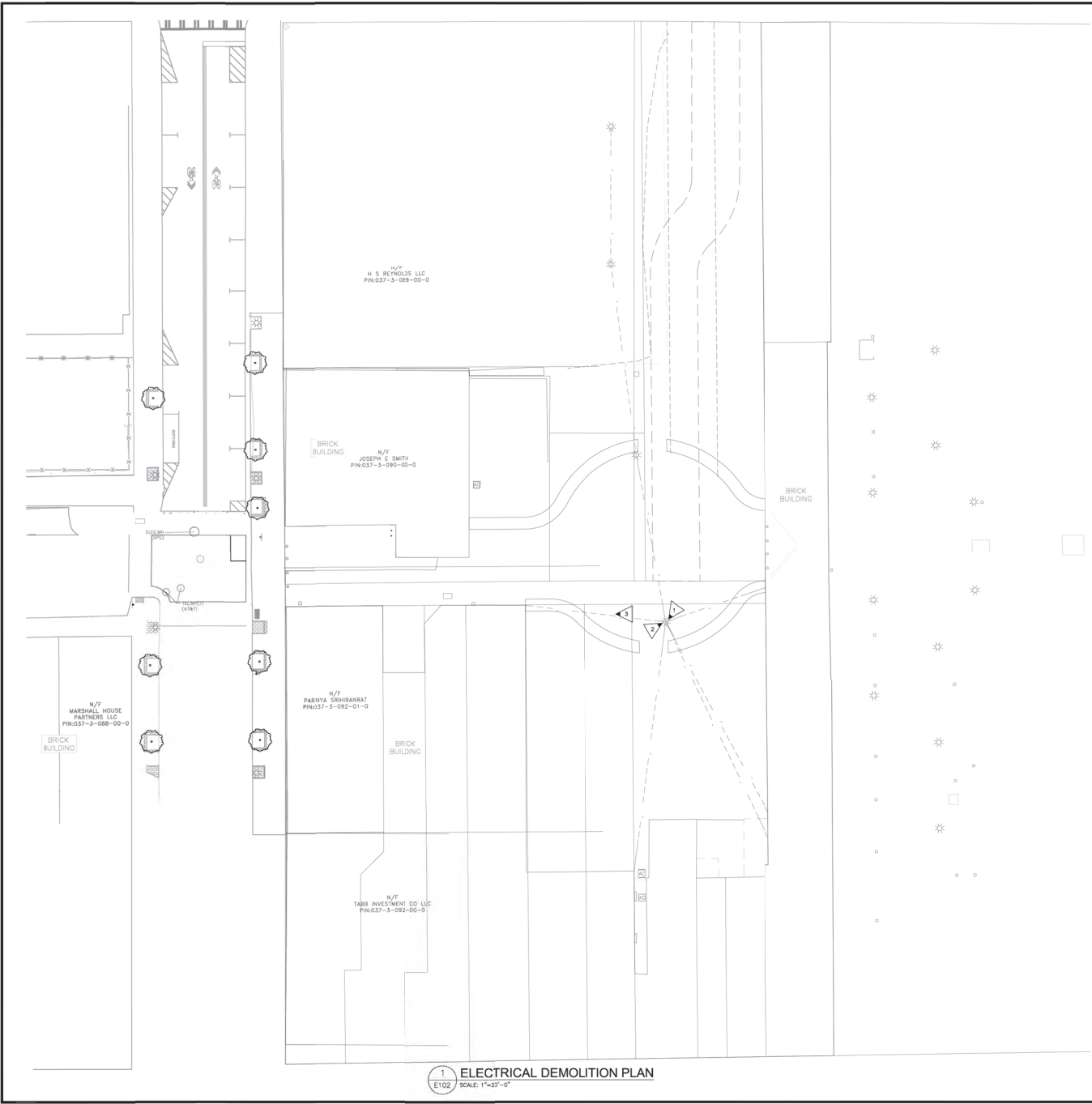
# CRANSTON











- KEYED NOTES:**
- 1. COORDINATE REMOVAL OF EXISTING LIGHT POLE AND FEEDER CONDUCTORS WITH UTILITY COMPANY. CONDUCTORS SHALL BE REMOVED IN THEIR ENTIRETY TO NEAREST POLE IN UTILITY CIRCUIT.
  - 2. CONTRACTOR SHALL COORDINATE REMOVAL OF AND REROUTING OF EXISTING LOW VOLTAGE CABLING ON THIS POLE. UTILITY OWNER SHALL BE RESPONSIBLE FOR RELOCATION AND RECONNECTING ANY AND ALL SERVICE DROPS THAT ARE DISRUPTED.
  - 3. EXISTING COMCAST SERVICE BOLLARD. CONTRACTOR SHALL COORDINATE IF SERVICE IS STILL IN USE OR CAN BE DEMOLISHED IN ENTIRETY. IF SERVICE SHALL BE RELOCATED, COORDINATE WITH COMCAST TO RELOCATE SERVICE TO NOT INTERFERE WITH NEW CONSTRUCTION.

- DEMOLITION NOTES:**
- 1. EXISTING EQUIPMENT LOCATED ON PLAN IS TO REMAIN UNLESS NOTED OTHERWISE.
  - 2. THE CONTRACTOR SHALL FIELD VERIFY EXACT ROUTINGS OF ALL EXISTING UTILITIES BEFORE STARTING ANY WORK AND NOTIFY THE ARCHITECT OF ANY KNOWN DISCREPANCIES.
  - 3. THE CONTRACTOR SHALL REMOVE EXISTING CONDUCTORS AND INSTALL NEW CONDUCTORS AS SHOWN OR AS REQUIRED TO COMPLETE REVISED CIRCUITS AND TO CONFORM TO N.E.C.
  - 4. ALL EXISTING EQUIPMENT REMOVED FROM SERVICE AND NOT INTENDED FOR REUSE SHALL REMAIN THE PROPERTY OF OWNER AND SHALL BE STORED OR DISPOSED OF AS DIRECTED BY THE OWNER.
  - 5. MAINTAIN SERVICE TO ALL EXISTING CIRCUITS THAT ARE NOT SCHEDULED FROM REMOVAL.
  - 6. PROVIDE BLANK COVERS ON ALL JUNCTION BOXES AND OUTLET BOXES NOT INTENDED FOR REUSE.
  - 7. EXISTING CEILING, WALLS AND FLOORS DISTURBED OR DISFIGURED BY THE ELECTRICAL RENOVATIONS SHALL BE PATCHED, MINDED OR REPLACED BY TRADES ACTIVELY PARTICIPATING IN THIS TYPE OF WORK. RESPONSIBILITY FOR REPAIRS SHALL BE COORDINATED BETWEEN GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR.
  - 8. EXISTING EQUIPMENT SHOWN ON ARCHITECTURAL, MECHANICAL PLUMBING AND ELECTRICAL DRAWINGS THAT WILL REMAIN SHALL HAVE SERVICE MAINTAINED OR RECONNECTED TO EXISTING OR NEW PANELBOARD AS NECESSARY.
  - 9. ALL EXISTING LIGHT FIXTURES REMOVED FROM AREAS WHERE NEW LIGHT FIXTURES ARE TO BE INSTALLED SHALL REMAIN THE PROPERTY OF THE OWNER. (SEE NOTE #4)
  - 10. TO MAINTAIN SERVICE, TO EXTEND, OR TO RECONNECT CIRCUITS WHERE CONDUIT CAN NOT BE CONCEALED, SURFACE METAL RACEWAY (RIRACOLD) SHALL BE USED. VERIFY WITH ARCHITECT PRIOR TO INSTALLATION.
  - 11. ELECTRICAL CONTRACTOR SHALL REVIEW ARCHITECTURAL DRAWINGS. CONDITIONS INDICATED ON ARCHITECTURAL DRAWINGS SHALL GOVERN.
  - 12. COORDINATE ELECTRICAL WITH ARCHITECTURAL DETAILS, FLOOR PLANS, ELEVATIONS, STRUCTURAL MECHANICAL AND PLUMBING DRAWINGS. PROVIDE FITTINGS, JUNCTION BOXES AND ACCESSORIES TO MEET CONDITIONS.
  - 13. ELECTRICAL CONTRACTOR SHALL PROVIDE PLUS OR RECEPTACLES TO MATCH DEVICES FURNISHED WITH OWNER FURNISHED EQUIPMENT AND EQUIPMENT FURNISHED BY OTHERS. (VERIFY)
  - 14. CONTRACTOR SHALL SURVEY EXISTING SPACES FOR ABANDONED SYSTEMS CABLING CURRENTLY LOCATED UNDERGROUND ON EXISTING POLES, OR STRUCTURES WITHIN DEMO SCOPE. CONTRACTOR TO VERIFY IF CABLING IS OPERABLE AND IN USE. ANY CABLE NOT IN USE SHALL BE REMOVED IN ITS ENTIRETY.
  - 15. CONTRACTOR TO SURVEY EXISTING AREAS FOR EXISTING ELECTRICAL CONDUIT AND JUNCTION BOXES WHICH ARE TO REMAIN. ANY CONDUIT OR JUNCTION BOXES NOT CURRENTLY IN COMPLIANCE WITH NEC SHALL BE RE-WORKED ACCORDINGLY TO MEET CODE.



**EFC**  
ELECTRICAL DESIGN  
CONSULTANTS  
ELECTRICAL ENGINEERS  
AUGUSTA OFFICE, PROJECT #: 25098  
edc1973.com



**CRANSTON**



REV #	DATE	DESCRIPTION

JONES STREET ROADWAY AND  
ALLEY IMPROVEMENTS

ELECTRICAL DEMOLITION PLAN

DRAWN BY:	M.J.
CHECKED BY:	TB
APPROVED BY:	TB
DATE:	11/14/2025
SCALE:	AS SHOWN
JOB No.	2024-0328
DRAWING No.	E102

ISSUED FOR BID - 11/14/2025



