

VICINITY MAP

1" = 5000'

MAYOR

GARNETT L. JOHNSON

BOARD OF COMMISSIONERS

DISTRICT 1	DISTRICT 2
JORDAN JOHNSON	STACY PULLIAM
DISTRICT 3	DISTRICT 4
CATHERINE SMITH-RICE	TANYA BARNHILL-TURNLEY
DISTRICT 5	DISTRICT 6
DON CLARK	TONY LEWIS
DISTRICT 7	DISTRICT 8
TINA SLENDAK	BRANDON GARRETT
DISTRICT 9	DISTRICT 10
FRANCINE SCOTT	WAYNE GUILFOYLE

AUGUSTA ENGINEERING DEPARTMENT
HAMEED MALIK, Ph.D, P.E.
DIRECTOR ENGINEERING

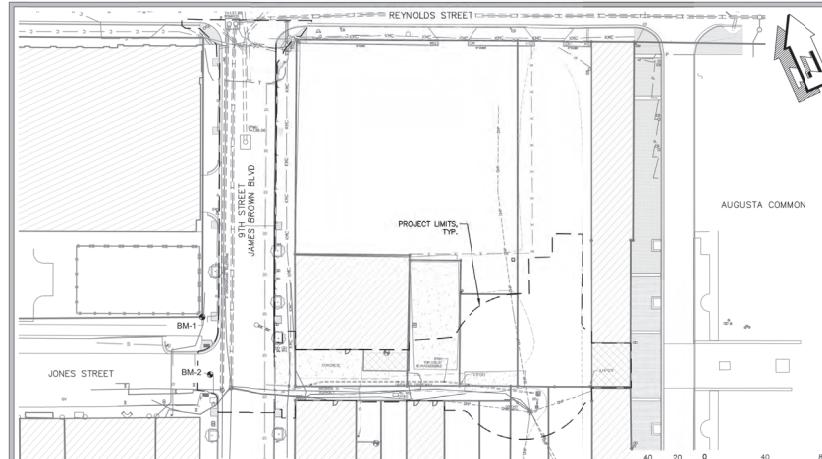
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L002	LEGEND & NOTES
L003	QUANTITY SUMMARY
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L101	DEMOLITION PLAN
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L502	CIVIL DETAILS
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L504	CIVIL DETAILS
L505	CIVIL DETAILS

PLANS FOR
**JONES ALLEY IMPROVEMENTS
PROJECT**

PREPARED FOR

CITY OF AUGUSTA

535 TELFAIR ST
AUGUSTA 30901



SITE MAP

1" = 40'

PREPARED BY


CRANSTON

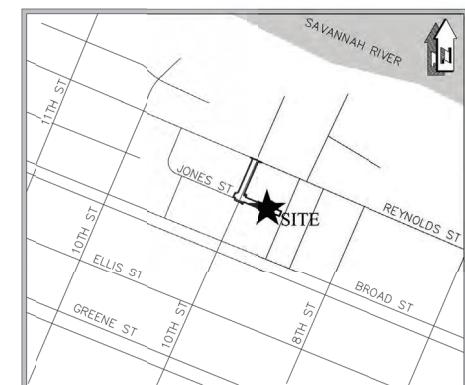
11/14/2025

BENCHMARK DATA

NAME	DESCRIPTION	PT #	NORTHING	EASTING	ELEVATION
BM-1	ZPKNS	1	1264,763.0700'	717,006.9330'	138.27' (NAVD88)
BM-2	Z-NAIL/WASHER FOUND	2	1264,725.0380'	716,996.4340'	138.05' (NAVD88)

BENCHMARK DATA:
1. COORDINATE SYSTEM IS STATE PLANE NAD 1983.
2. ALL DISTANCES SHOWN ARE GROUND.

REV #	DATE	DESCRIPTION



LOCATION MAP

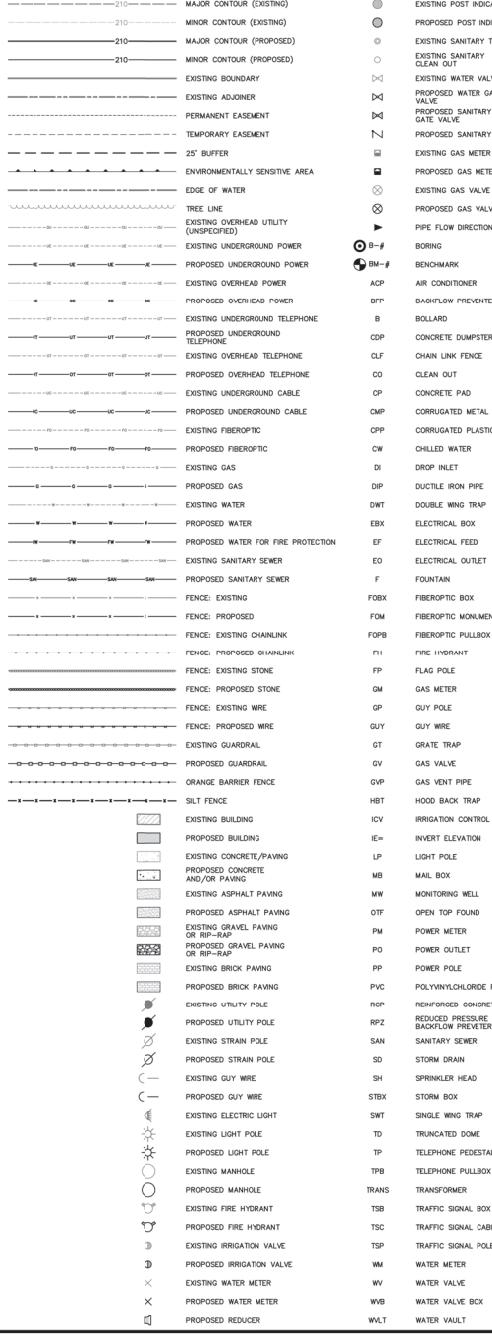
1" = 350'

PROJECT DATA:

1. ACREAGE OF DEVELOPMENT:	0.60 ACRES
2. AREA DISTURBED:	0.50 ACRES
3. OWNER/DEVELOPER:	
CITY OF AUGUSTA	
535 TELFAIR ST	
AUGUSTA 30901	
PHONE: 706-796-5040	
24 HOUR CONTACT:	
NAME: WALTER CORBIN, PE	
PHONE: 706-821-1711	
EMAIL: WCORBIN@AUGUSTA.GOV	
4. TAX MAP & PARCEL NUMBERS:	MULTIPLE B-2
5. ZONING:	
6. DRAINAGE AREA THIS PROJECT:	
ONSITE: 0.42 ACRES	
OFFSITE: 1.30 ACRES	
TOTAL: 1.72 ACRES	
7. IMPERVIOUS AREA:	
EXISTING: 0.68 ACRES	
PROPOSED: 0.68 ACRES	
8. PERVIOUS AREA:	
EXISTING: 0.02 ACRES	
PROPOSED: 0.02 ACRES	
9. RECEIVING STREAM:	
10. ULTIMATE STREAM:	
11. EXISTING LAND USE:	SAVANNAH RIVER
12. PROPOSED LAND USE:	ROW



LEGE



GENERAL NO

GENERAL AUD NO

GENERAL AUD SEWER NOTES:

GEORGIA 81
Utilities Protection Center, Inc.

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you dig.

P
N

100

LEGEND & NOTES

4002

CINCO

B
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R
14/20
O SCA
24-03
002

PAY ITEM NO.	DESCRIPTION	QUANTITY	UNIT
001-1000	FORCE ACCOUNT	1	LS
001-1002	SELECT DEMOLITION	1	LS
001-5002	UTILITY RELOCATION COMPLETE	1	LS
005-0002	INSTALLATION OF LIGHTING FACILITIES AND ELECTRICAL WORK	1	LS
009-3500	MISCELLANEOUS LANDSCAPE ITEMS	1	LS
150-1000	TRAFFIC CONTROL	1	LS
151-1000	MOBILIZATION	1	LS
163-0301	CONSTRUCT AND REMOVE CONSTRUCTION EXITS, INCL MAINTENANCE	1	EA
163-0550	CONSTRUCT AND REMOVE INLET SEDIMENT TRAP, INCL MAINTENANCE - PIGS	4	EA
163-0551	CONSTRUCT AND REMOVE INLET SEDIMENT TRAP, INCL MAINTENANCE - FILTER FARRICS	4	EA
163-0552	CONSTRUCT AND REMOVE INLET SEDIMENT TRAP, INCL MAINTENANCE - LOW PROFILE	19	EA
171-0030	TEMPORARY SILT FENCE, TYPE C, INCL MAINTENANCE	260	LF
207-0203	FOUND BULKILL MATL, TP II	60	CY
210-0'00	GRADING COMPLETE	1	LS
310-5080	GR AGGR BASE CRS, 8 INCH, INCL MATL	740	SY
402-3'00	RECYCLED ASPH CONC 9.5 MM SUPERPAVE, TYPE I, GP 1 OR BLEND 1, INCL BITUM & H LIME	192	TN
402-3113	RECYCLED ASPH CONC 12.5 MM SUPERPAVE, GP 1 OR 2, INCL BITUM MATL & H LIME	82	TN
413-0750	TACK COAT	192	GL
432-0208	MILL ASPH CONC PVMT, 2 IN DEPTH	900	SY
441-0'04	CONC SIDEWALK, 4 IN	305	SY
441-4010	Ogee CURB & GUTTER, 4 IN	121	SY
441-6012	CONC CURB & GUTTER, 6 IN X 24 IN, TP 2	205	LF
441-7311	CURB CUT WHEELCHAIR RAMP, TYPE A	2	EA
500-3650	CLASS AA-1 CONCRETE	19.5	CY
550-5'80	STORM DRAIN PIPE, 18 IN, CLASS III	490	LF
610-0007	BUILDING DEMOLITION AND RENOVATIONS	1	LS
610-0355	REM CONC CURB & GUTTER ALL SIZES	205	LF
610-2580	REM ASPH PVMT INCL BASE	190	SY
610-2700	REM CONCRETE	310	SY
652-0105	PAVEMENT MARKING, BIKE SHARED LANE SYMBOL	2	EA
653-0110	THERMOPLASTIC PVMT MARKING, ARROW, TP 1	2	EA
653-1501	THERMOPLASTIC SOLID TRAF STRIPE, 5 IN, WHITE	450	LF
653-1700	THERMOPLASTIC SOLID TRAF STRIPE, 24 IN, WHITE	18	LF
653-1800	THERMOPLASTIC SOLID TRAF STRIPE, 8 IN, WHITE	460	LF
653-2602	THERMOPLASTIC SOLID TRAF STRIPE, 6 IN, YELLOW	395	LF
668-1'00	CATCH BASIN, GP	2	EA
668-1101	CATCH BASIN, GP - Ogee CURB GRATE	2	EA
668-1'02	CATCH BASIN, GP - 18" DIA ADA NYLOPLAST DOME	4	EA
668-4300	STORM SEWER MANHOLE, TP 1	3	EA
900-0035	BRICK PAVERS SIDEWALK, INCL 6 IN TK CONC AND 6 IN TK GR AGGR BASE	1330	SF
900-0527	REMOVABLE BOLLARDS	8	EA
999-5200	DETECTABLE WARNING SURFACE	48	SF
S-19	ADJUST MANHOLE "O" GRADE	8	EA
S-1A	SAN SEWER PIPE, 12 IN, SDR 26 PVC (FOR STORM DRAIN PIPE)	85	LF
S-15	WATER MAIN CROSSINGS	3	EA
W-19	ADJUST WATER VALVE BOX TO GRADE	1	EA
W-20	ADJUST WATER METER TO GRADE	4	EA

PAY ITEM NO.	DESCRIPTION	QUANTITY	UNIT
ADE ALTERNATE #1			
R/MOVE			
44-0104	CONC SIDEWALK, 4 IN	257	SY
ADD			
901-0035	BRICK PAVERS SIDEWALK, INCL 6 IN TK CONC AND 6 IN TK GR AGGR BASE	2310	SF
ADE ALTERNATE #2			
R/MOVE			
310-5080	GR AGGR BASE CRS, 8 INCH, INCL MATL	30	SY
402-3105	RECYCLED ASPH CONC 9.5 MM SUPERPAVE, TYPE I, GP 1 OR BLEND 1, INCL BITUM MATL & H LIME	10	TN
402-3113	RECYCLED ASPH CONC 12.5 MM SUPERPAVE, GP 1 OR 2, INCL BITUM MATL & H LIME	4	TN
411-0750	TACK COAT	13	GL
653-1804	THERMOPLASTIC SOLID TRAF STRIPE, 8 IN, WHITE	350	LF
ADD			
501-3650	CLASS AA-1 CONCRETE	8.5	CY
901-0035	BRICK PAVERS SIDEWALK, INCL 6 IN TK CONC AND 6 IN TK GR AGGR BASE	1050	SF
ADE ALTERNATE #3			
R/MOVE			
402-3105	RECYCLED ASPH CONC 9.5 MM SUPERPAVE, TYPE I, GP 1 OR BLEND 1, INCL BITUM MATL & H LIME	57	TN
402-3113	RECYCLED ASPH CONC 12.5 MM SUPERPAVE, GP 1 OR 2, INCL BITUM MATL & H LIME	57	TN
411-0750	TACK COAT	82	GL
ADD			
361-5011	BLACK PIGMENT FOR PORTLAND CEMENT CONCRETE PAVING, 8 IN REINF CONC	510	SY

ISSUED FOR BID - 11/14/2025

JONES ALLEY IMPROVEMENTS
PROJECT

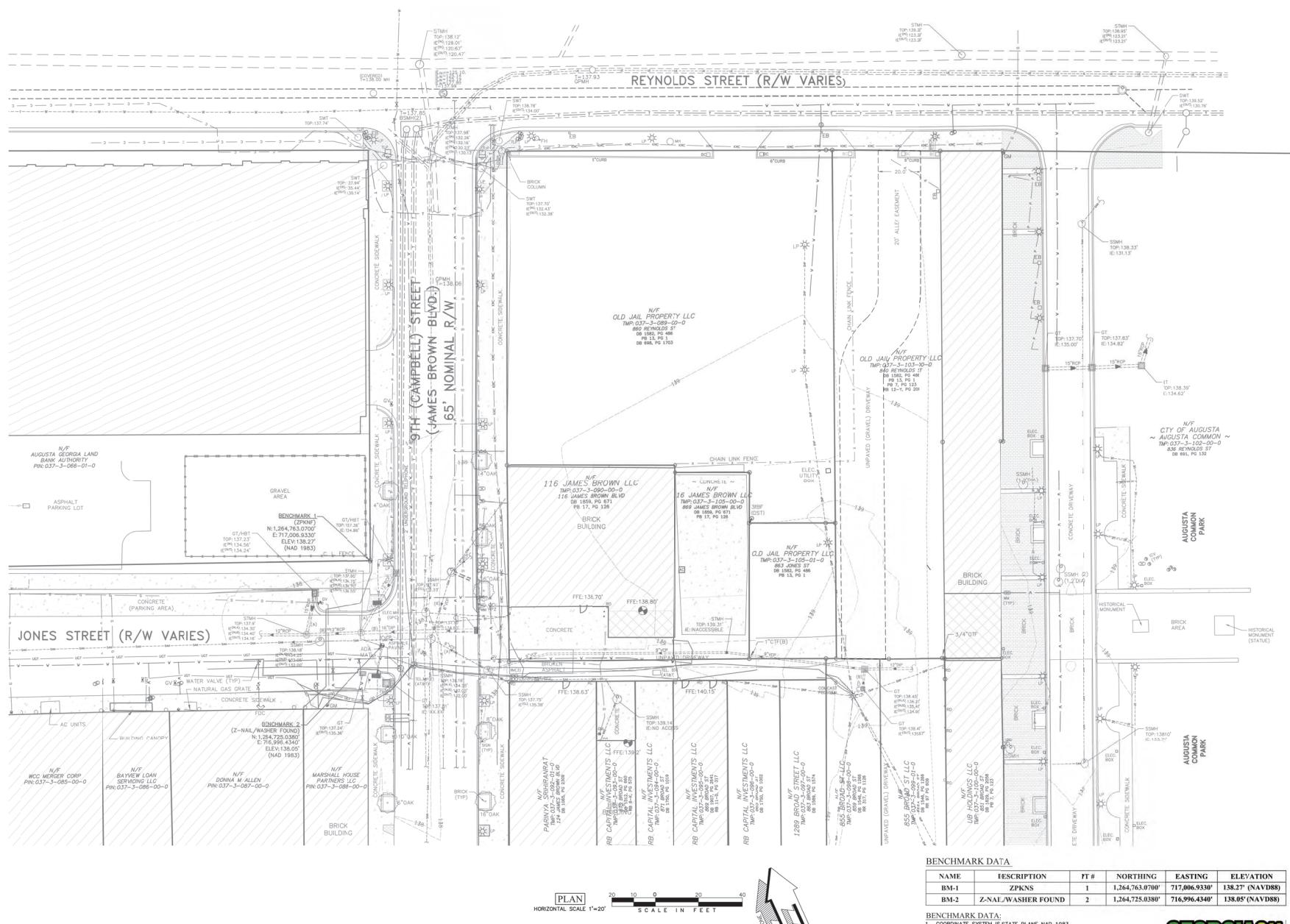
QUANTITY SUMMARY

DRAWN BY: BMR
CHECKED BY: RSD
APPROVED BY: RSD
DATE: 11/14/2025
SCALE: NO SCALE
JOB No: 2024-0328
DRAWING No: L003



CRANSTON





ISSUED FOR R/D 11/11/2005

JONES ALLEY IMPROVEMENTS PROJECT

A circular seal for a registered professional engineer in Georgia. The outer ring contains the words "GEORGIA" at the top and "REGISTERED" at the bottom. The inner circle contains "NO. 22223" at the top, "PROFESSIONAL" in the middle, and "ENGINEER" at the bottom. The name "DENNIS J. WELCH" is at the bottom. A handwritten signature "Dennis J. Welch" is written across the center of the seal.

CRANSTON

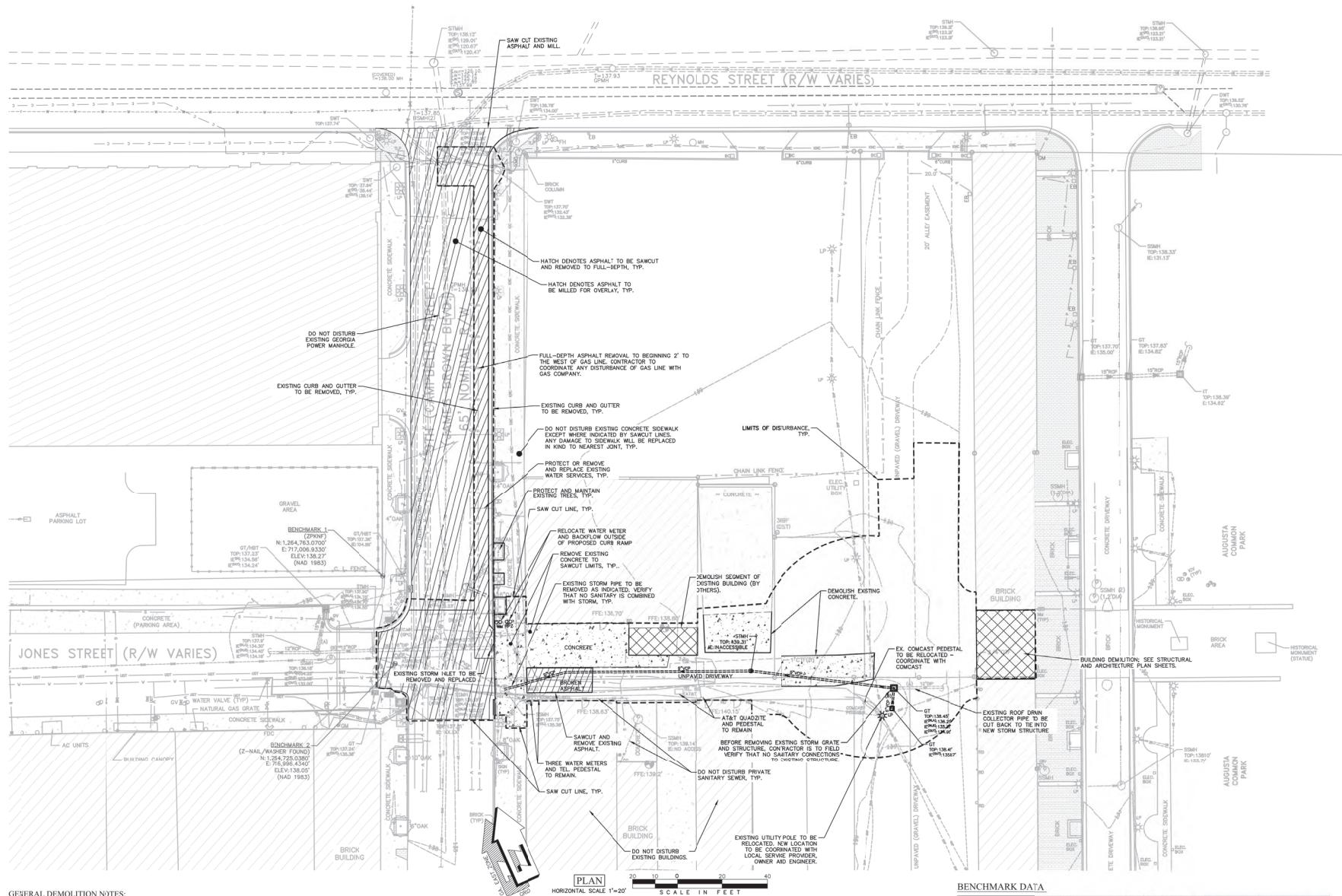
JONES ALLEY IMPROVEMENTS
PROJECT

EXISTING CONDITIONS PLAN

AWN BY: BMR
ECKED BY: RSD
PROVED BY: RSD
TE: 11/14/2025
ALE: 1" = 20'
8 No. 2024-0328

L100

BENCHMARK DATA:



ISSUED EOB BID - 11/14/2025

JONES ALLEY IMPROVEMENTS PROJECT

6 ALLEY IMPROVEMENTS PROJECT

DEMOLITION PLAN

GENERAL DEMOLITION NOTES:

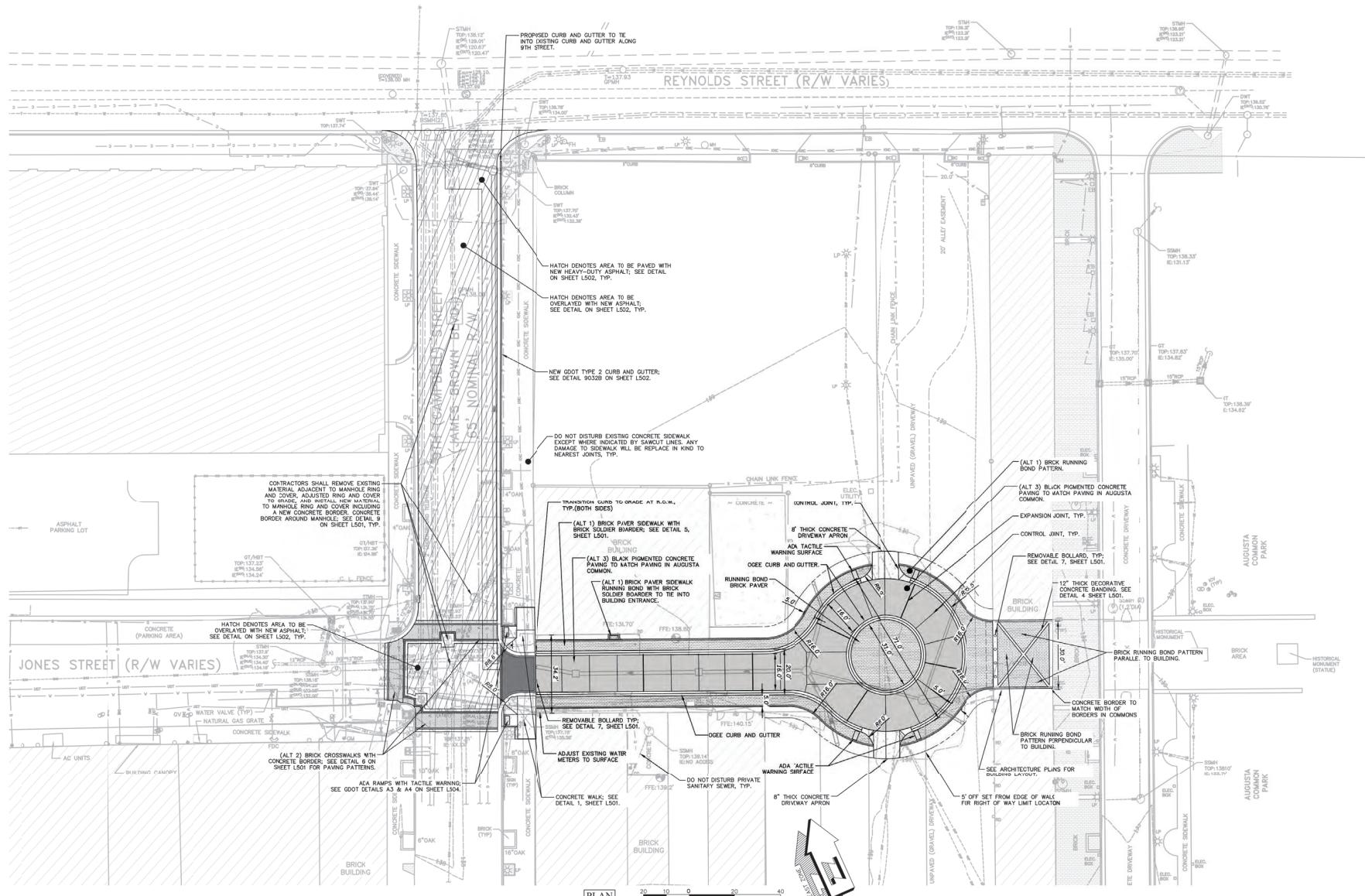
1. NO WORK SHALL COMMENCE WHILE STATE OR COUNTY RIGHT-OF-WAY UNTIL AN ENROTCHEMENT PERMIT HAS BEEN SECURED BY THE CONTRACTOR.
2. CONTRACTOR TO FIELD VERIFICATIONS OF ALL EXISTING PILES AND UTILITY LOCATIONS PRIOR TO TURNING SUBMITTALS FOR CONSTRUCTION.
3. CONTRACTOR SHALL REMOVE EXISTING CONCRETE PILES AND UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
4. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AROUND SITE PERIMETER AS NECESSARY FOR SECURITY AND PUBLIC SAFETY.
5. CONTRACTOR SHALL TAKE NECESSARY PRECAUTION TO PROTECT STRUCTURES, SIGNAGE, POWER POLES, UTILITIES, AND LANDSCAPING/VEGETATION TO REMAIN.
6. ALL EXISTING CONCRETE PILES, UTILITIES, AND OTHER EXISTING STRUCTURES SHALL BE DEMOLISHED AS SHOWN IN BOLD, OUTLINED IN BOLD, OR DESCRIBED HEREIN.
7. THE DEMOLITION OF EXISTING BUILDINGS SHALL CONFORM TO ALL LOCAL, STATE, & FEDERAL REGULATIONS PERTAINING TO SUCH WORK. ALL MATERIALS FROM THE DEMOLITION OF EXISTING BUILDINGS SHALL BE DUMPED ON-SITE OR RECYCLED ACCORDING TO LOCAL, STATE, & FEDERAL REGULATIONS.
8. THE ARCHITECTURAL PLANS FOR MORE DETAILED GUIDANCE ON BUILDING DEMOLITION.
9. DEMOLITION OF ALL LANDSCAPE IRRIGATION FIXTURES AND CONNECTIONS SHALL BE PERFORMED BY A LICENSED CONTRACTOR SPECIALIZING IN IRRIGATION SERVICE.
10. CONTRACTOR IS TO COORDINATE DEMOLITION OF GAS, TELEPHONE, TELEVISION, AND POWER UTILITIES WITH RESPECTIVE COMPANIES.
11. AVENEMENTS OR CURBINGAVING PARTIAL SECTIONS DEMOLISHED SHALL BE SANCTUAR PRIOR TO DEMOLITION ACTIVITIES SUCH THAT A CLEAN EDGE IS

BENCHMARK DATA					
NAME	DESCRIPTION	FT #	NORTHING	EASTING	ELEVATION
BM-1	ZPKNS	1	1,264,763.0700'	717,006.9330'	138.27' (NAVD88)
BM-2	Z-NAL/WASHER FOUND	2	1,264,725.0380'	716,996.4340'	138.05' (NAVD88)

BENCHMARK DATA:

**Know what's below.
Call before you dig.**

BY:	BMR
CKED BY:	RSD
ROVED BY:	RSD
DATE:	11/14/2025
TIME:	1" = 20"
NO.	2024-0328
ING NO.	L101



GENERAL LAYOUT NOTES:

1. CONTRACTOR TO SMOOTHLY TRANSITION PROPOSED CURB AND GUTTER TO EXISTING CONDITIONS VIA A 3 FOOT OR GREATER TRANSITION WHILE PROVIDING A SMOOTH SURFACE.
2. CONTRACTOR TO PROVIDE POSITIVE ROADWAY DRAINAGE AWAY FROM BUILDINGS AND DRIVEWAYS DURING AND AFTER CONSTRUCTION.
3. CONTRACTOR TO COORDINATE WORK WITH OWN PROVIDERS INCLUDING, BUT NOT LIMITED TO, WATER AND SEWER UTILITIES, GAS, ELECTRIC, AND TELECOM PROVIDERS, AND DURING CONSTRUCTION.
4. CONTRACTOR TO PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE GOVT WORK ZONE SAFETY AND MOBILITY POLICY AND THE GOVT WORK ZONE SAFETY AND MOBILITY POLICY AND BUSINESS CONTINUITY CONSTRUCTION.
5. CONTRACTOR SHALL CONTACT THE UTILITIES PROTECTION INC. "CALL BEFORE YOU DIG" SERVICE (811) IN ORDER TO LOCATE UTILITIES AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR'S LOCATIONS ON PLANS ARE APPROXIMATE AS DETERMINED FROM EXISTING RECORDS AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO BE ADJUSTED TO FINISHED GRADE.
6. ALL WATER VALVE, HYDRANT, METERS, BURRS, MARKERS, AND OTHER FEATURES SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
7. CONTRACTOR SHALL NOT CONDUCT SURVEYS OR DISBURSEMENTS TO EXISTING FACILITIES SHOWN, IF APPROVED AND SCHEDULED WITH OWNER AT LEAST 48 HOURS IN ADVANCE.
8. CONTRACTOR SHALL NOT CONDUCT SURVEYS OR DISBURSEMENTS TO EXISTING FACILITIES SHOWN, IF APPROVED AND SCHEDULED WITH OWNER AT LEAST 48 HOURS IN ADVANCE.
9. SIDEWALK DIMENSIONS ARE TO THE EDGE OF SIDEWALK.
10. SEE LANDSCAPE PLANS AND DETAILS FOR SITE PLANTINGS.

ISSUED FOR BID - 11/14/2025

JONES ALLEY IMPROVEMENTS PROJECT

LAYOUT PLAN

CRANSTON

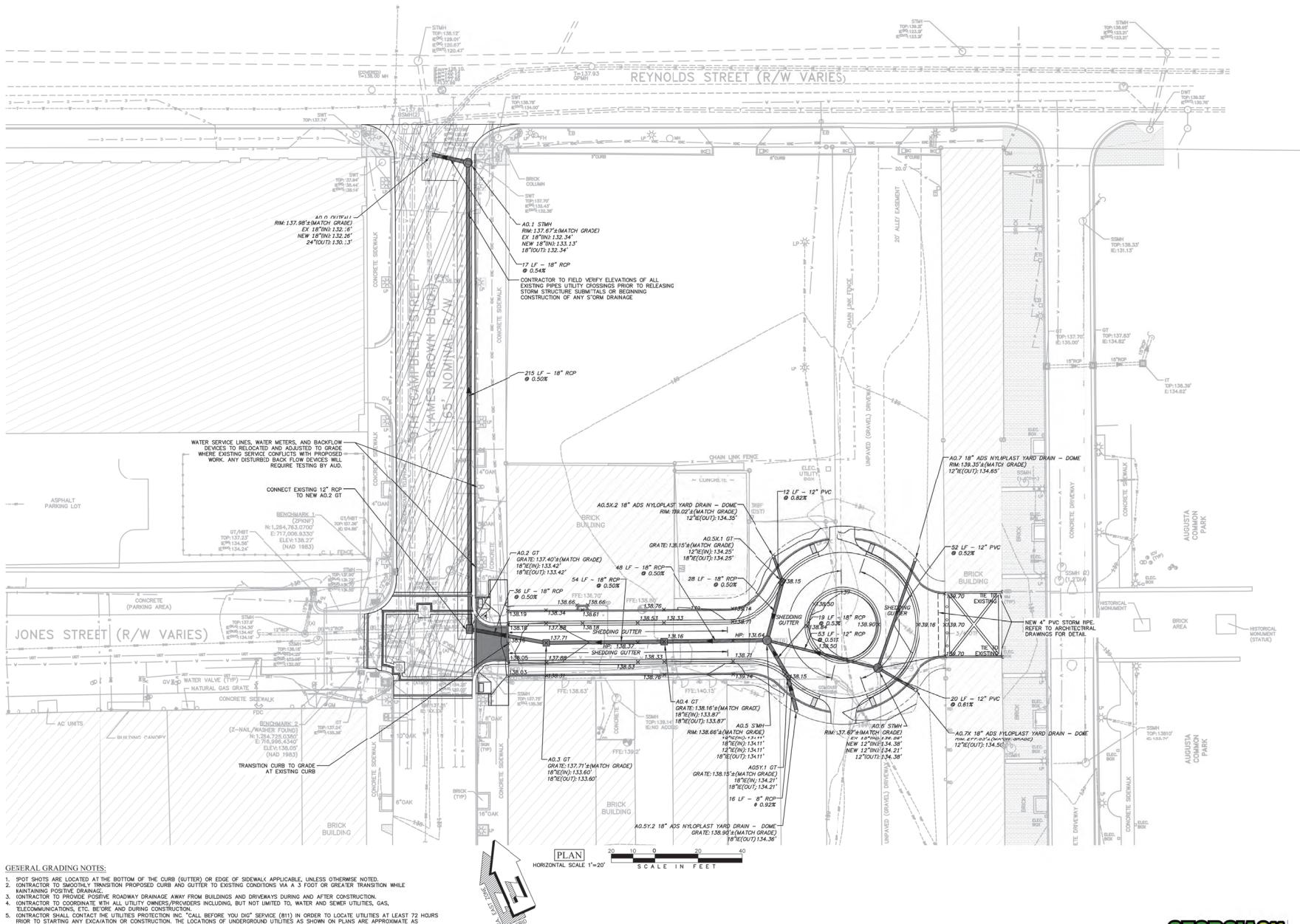


LAYOUT PLAN

DRAWN BY: BMR
 CHECKED BY: RSD
 APPROVED BY: RSD
 DATE: 11/14/2025
 SCALE: 1" = 20'
 Job No. 2024-0328
 DRAWING No. L200
 Issued what's below.
 Call before you dig.

GEORGIA 811
 Utilities Protection Center, Inc.

L200



ISSUED FOR BID - 11/14/2025

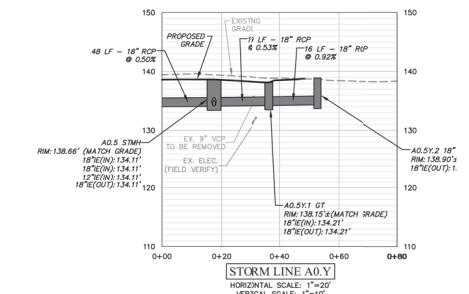
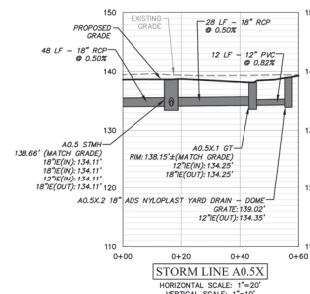
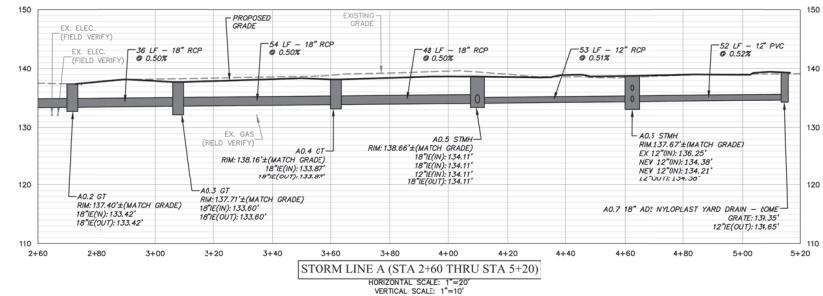
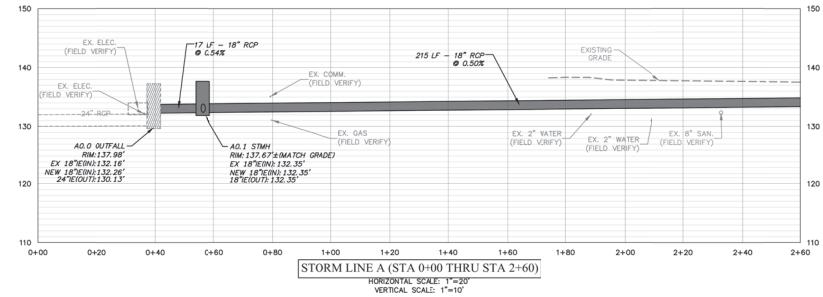
**JONES ALLEY IMPROVEMENTS
PROJECT**



CRANSTON

REF #	DATE	DESCRIPTION

DRAWN BY:	RESD
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	1" = 20'
JOB No.:	2024-0328
DRAWING No.:	L201



ISSUED EOB BID - 11/14/2025



JONES ALLEY IMPROVEMENTS PROJECT

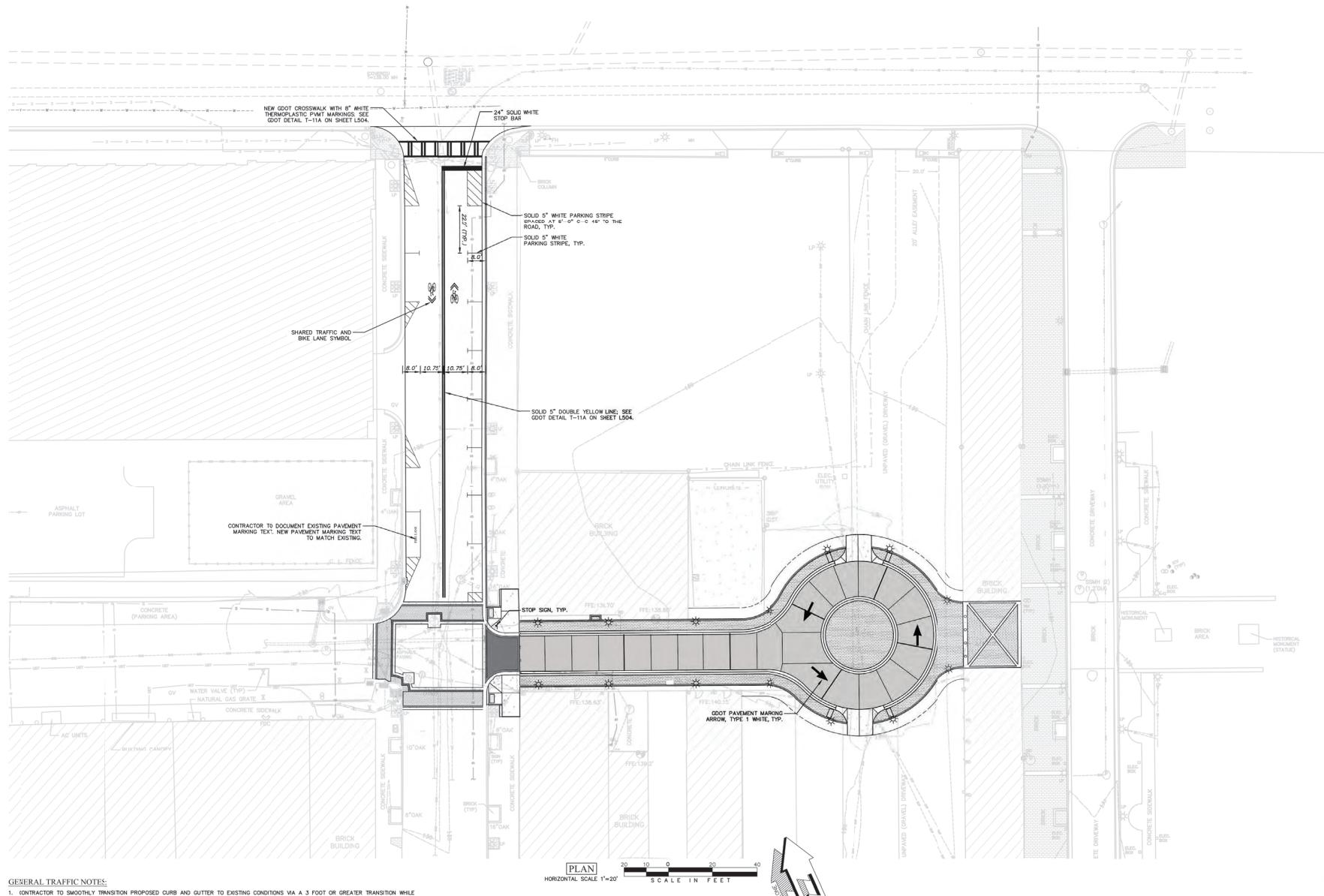
A circular Georgia Professional Engineer registration stamp. The outer ring contains the words "GEORGIA" at the top and "REGISTERED" at the bottom. The inner circle contains "NO. 21223" at the top, "PROFESSIONAL" in the middle, and "ENGINEER" at the bottom. Below the inner circle, the name "DENNIS J. WELCH" is printed. A handwritten signature, "Dennis J. Welch," is written across the top of the stamp.

CRANSTON

STORM PROFILES

BMR
RSD
RSD
/14/2025
AS SHOWN
024-0328

202



GENERAL TRAFFIC NOTES:

1. CONTRACTOR TO SMOOTHLY TRANSITION PROPOSED CURB AND GUTTER TO EXISTING CONDITIONS VIA A 3 FOOT OR GREATER TRANSITION WHILE MAINTAINING POSITIVE DRAINAGE.
2. CONTRACTOR TO MAINTAIN TRAFFIC CONTROL PLAN IN ACCORDANCE WITH THE GDOT WORK ZONE CONTINUITY AND MOBILITY POLICY AND THE CURRENT EDITION, MARYLAND CONTINUOUS TRAFFIC CONTROL PLAN.
3. CONTRACTOR TO MAINTAIN CONTINUOUS TRAFFIC CONTROL PLAN (B1) DURING CONSTRUCTION.
4. CONTRACTOR TO MAINTAIN CONTINUOUS TRAFFIC CONTROL PLAN (B1) IN ORDER TO LOCATE UTILITIES AT LEAST 72 HOURS FROM THE STARTING EXCAVATION OR CONSTRUCTION.
5. CONTRACTOR TO MAINTAIN CONTINUOUS TRAFFIC CONTROL PLAN (B1) FROM EXISTING RECORDS.
6. CONTRACTOR TO MAINTAIN CONTINUOUS TRAFFIC CONTROL PLAN (B1) FOR ALL EXCAVATIONS, BOXES, AND MANHOLES IMPACTED DURING CONSTRUCTION ACTIVITIES TO BE ADJUSTED TO FINISHED GRADE.
7. ALL WATER OR OTHER SERVICE OUTAGES OR DISRUPTIONS TO EXISTING FACILITIES SHALL BE APPROVED AND SCHEDULED WITH OWNER AT LEAST 48 HOURS IN ADVANCE.
8. ALL UTILITIES AND CONDUIT SLEEVES MUST BE INSTALLED BEFORE PAVING IS COMPLETE.
9. DIMENSIONAL TOLERANCES ARE TO THE EDGE OF SIDEWALKS AND CURBSTONE IN ACCORDANCE WITH GDOT STANDARD DETAILS AND SPECIFICATIONS, LATST EDITION.
10. CROSSWALKS, STOPBARS, AND MEDIAN HATCH STRIPPING TO BE THERMOPLASTIC PANT STRIPE MEETING GDOT STD. SPECIFICATION 653.

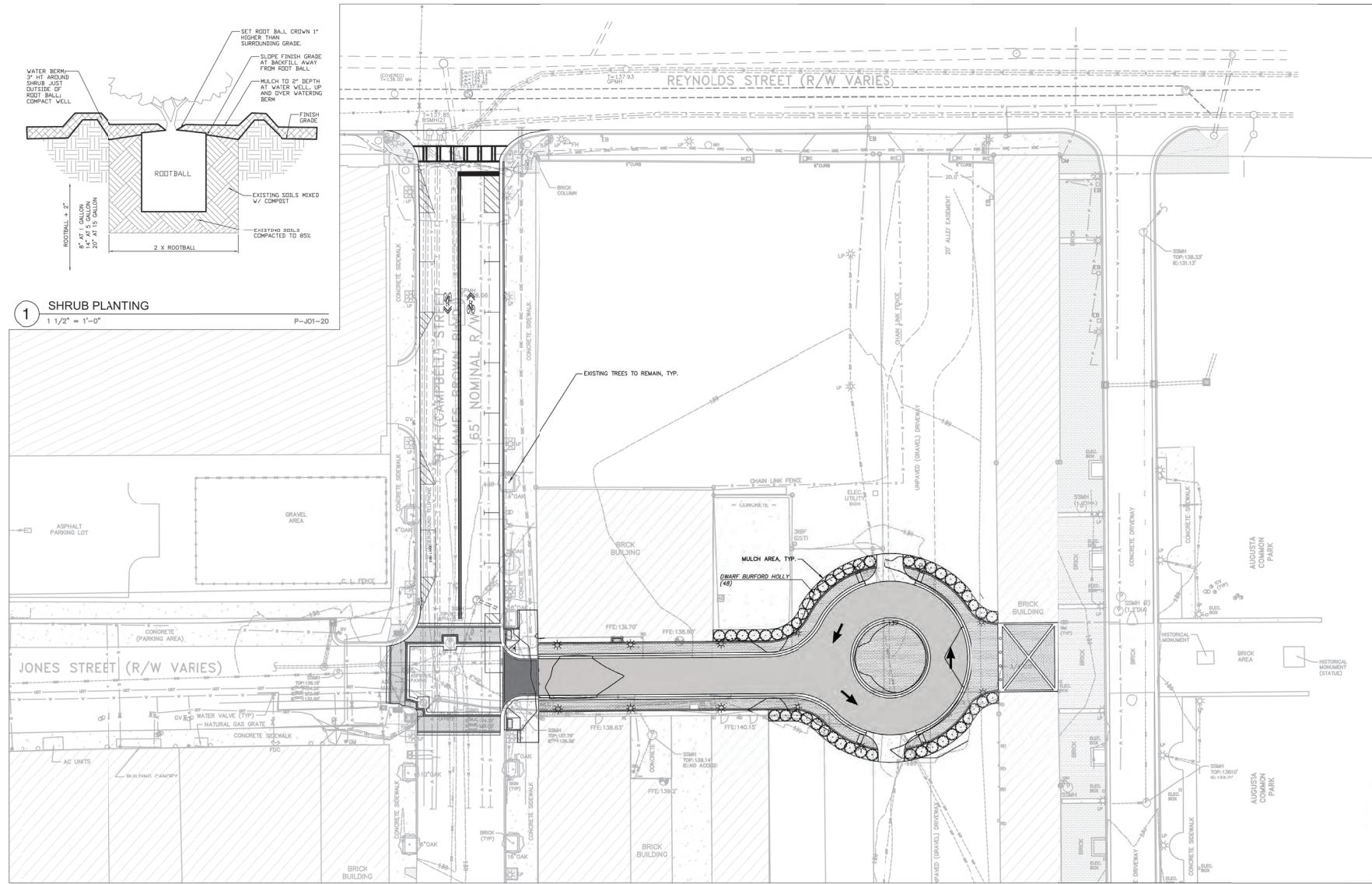
ISSUE D EOB BID - 11/14/2025



JONES ALLEY IMPROVEMENTS PROJECT

STRIPPING PLAN

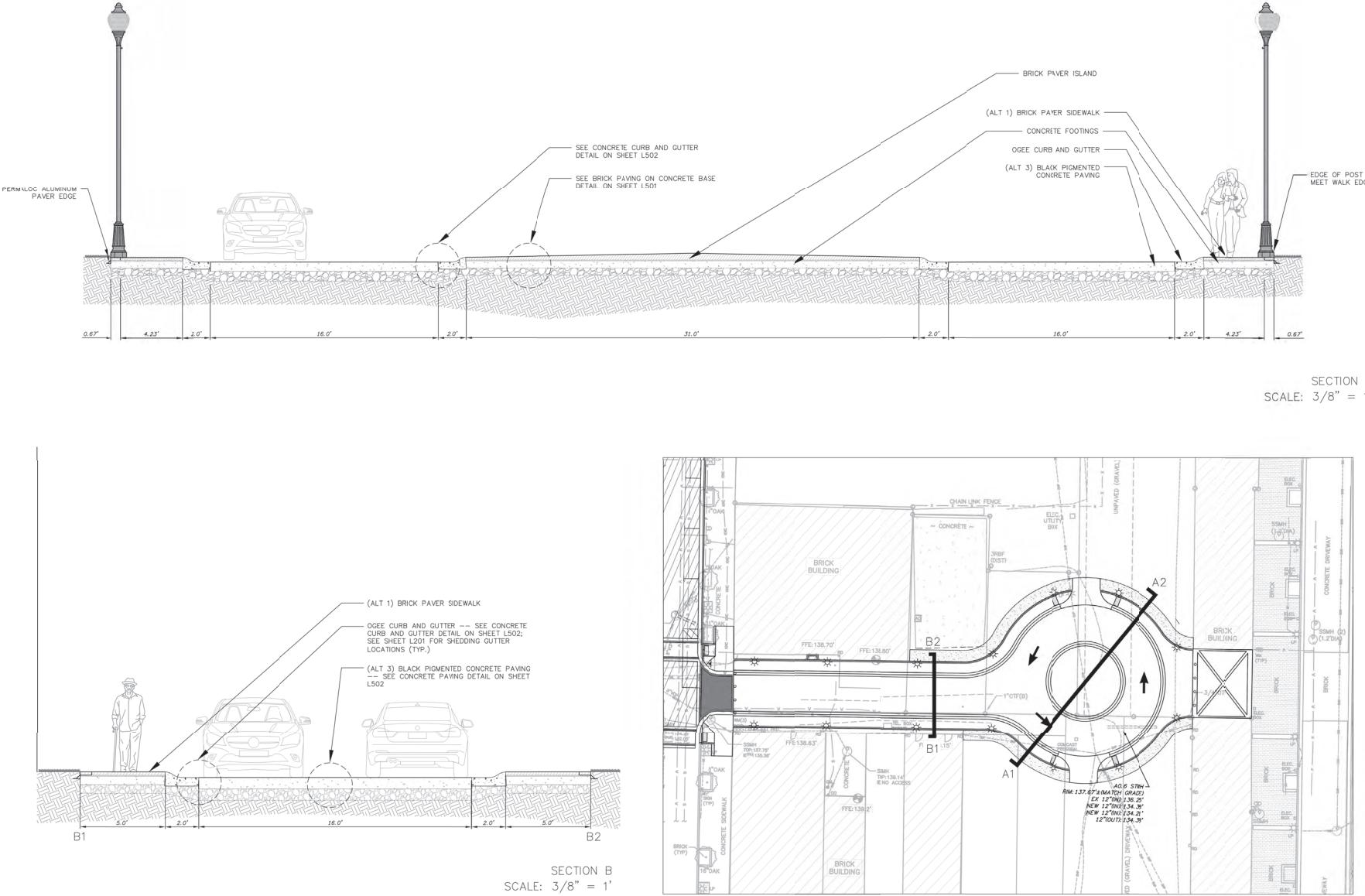
BY: BMR
CHECKED BY: RSD
PROVED BY: RSD
DUE: 11/14/2025
E: 1" = 20"
No. 2024-0328
ING No. L203



ISSUED FOR BID - 11/14/2025

**JONES ALLEY IMPROVEMENTS
PROJECT**
**CRANSTON**

DRAWN BY: BMR
CHECKED BY: RSD
APPROVED BY: RSD
DATE: 11/14/2025
SCALE: 1" = 20'
JOB No: 2024-0328
DRAWING No: L204

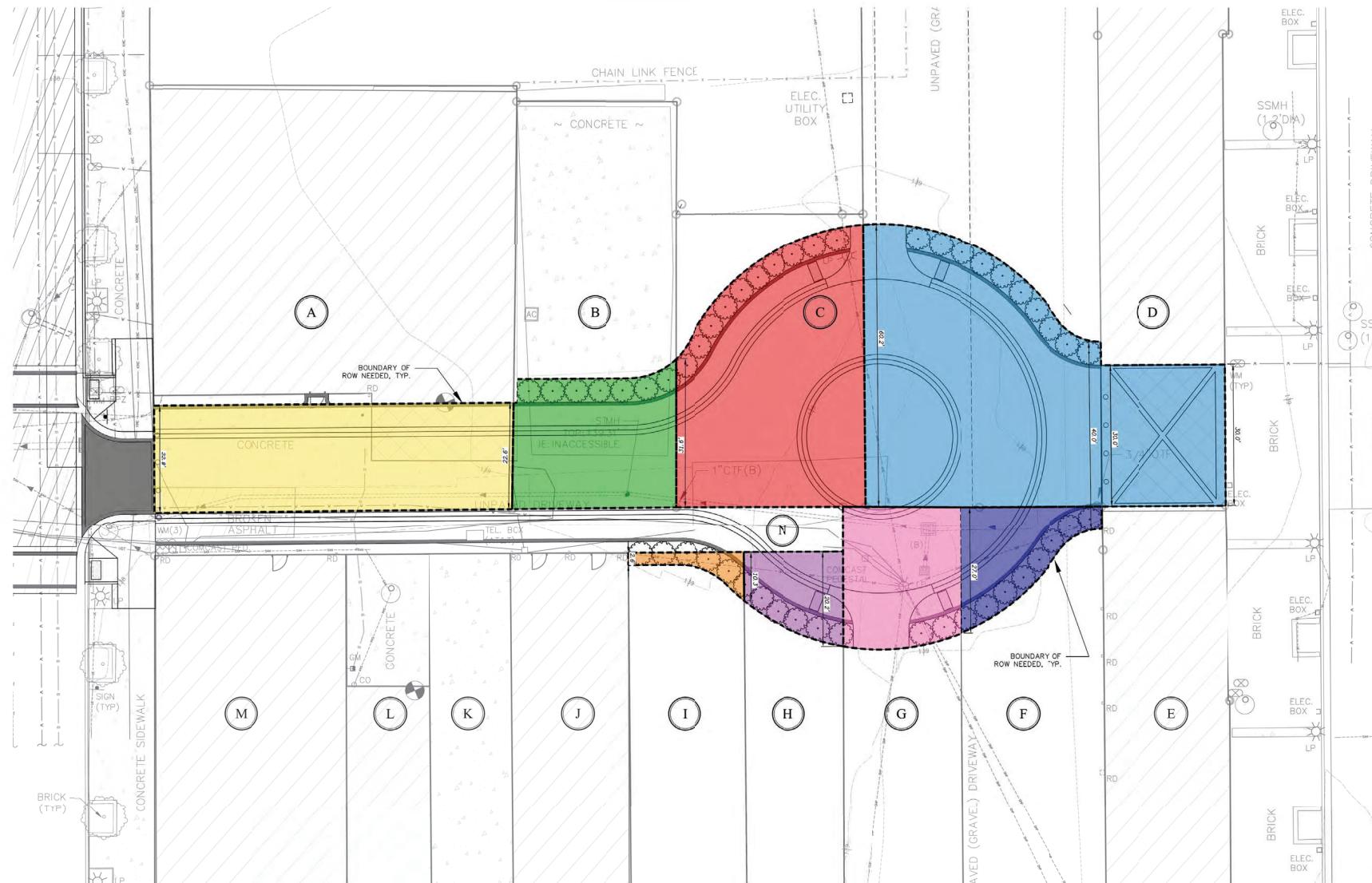


11.SS11ED EOB BID - 11/14/2025



CRANSTON

JONES ALLEY IMPROVEMENTS PROJECT		ROAD SECTIONS	REV / DATE
DRAWN BY:	BMR		
CHECKED BY:	RSD		
APPROVED BY:	RSD		
DATE:	11/14/2025		
SCALE:	AS SHOWN		
JOB No.	2024-0328		
DRAWING No.	L300		



ADJOINER ID	TMP	N/F	REQUIRED RIGHT OF WAY	
			SF	ACRES
A	037-3-090-00-0	116 JAMES BROWN LLC	1734	0.040
B	037-3-105-00-0	116 JAMES BROWN LLC	969	0.022
C	037-3-105-01-0	OLD JAIL PROPERTY LLC	2055	0.047
D	037-3-105-00-0	OLD JAIL PROPERTY LLC	3401	0.078
E	037-3-100-00-0	UB HOLDINGS LLC	N/A	N/A
F	037-3-099-01-0	855 BROAD ST LLC	481	0.011
G	037-3-099-00-0	855 BROAD ST LLC	750	0.017

ADJOINER ID	TMP	N/F	REQUIRED RIGHT OF WAY	
			SF	ACRES
H	037-3-097-00-0	1289 BROAD STREET LLC	346	0.008
I	037-3-096-00-0	RB CAPITAL INVESTMENTS LLC	100	0.002
J	037-3-090-00-0	RB CAPITAL INVESTMENTS LLC	N/A	N/A
K	037-3-105-00-0	RB CAPITAL INVESTMENTS LLC	N/A	N/A
L	037-3-105-01-0	RB CAPITAL INVESTMENTS LLC	N/A	N/A
M	037-3-105-00-0	PARNYA SRIRHANRAT	N/A	N/A
N	N/A	CITY OF AUGUSTA R/W	N/A	N/A

PLAN
HORIZONTAL SCALE 1"=10'



ISSUED FOR BID - 11/14/2025

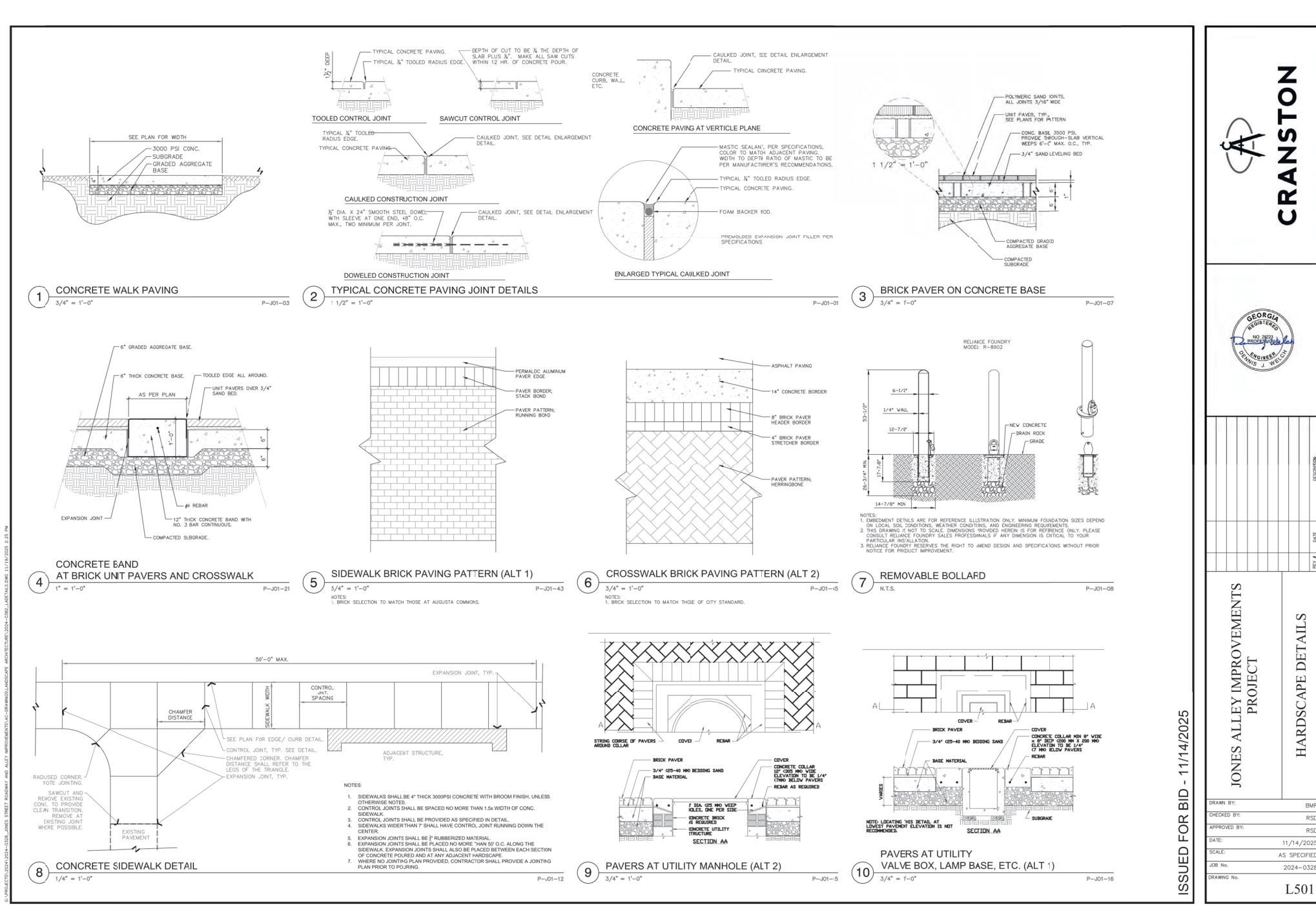
JONES ALLEY IMPROVEMENTS
PROJECT

RIGHT OF WAY LAND

DRAWN BY: BMR
CHECKED BY: RSD
APPROVED BY: RSD
DATE: 11/14/2025
SCALE: 1" = 10'
JOB No. 2024-0328
DRAWING No. L400

CRANSTON





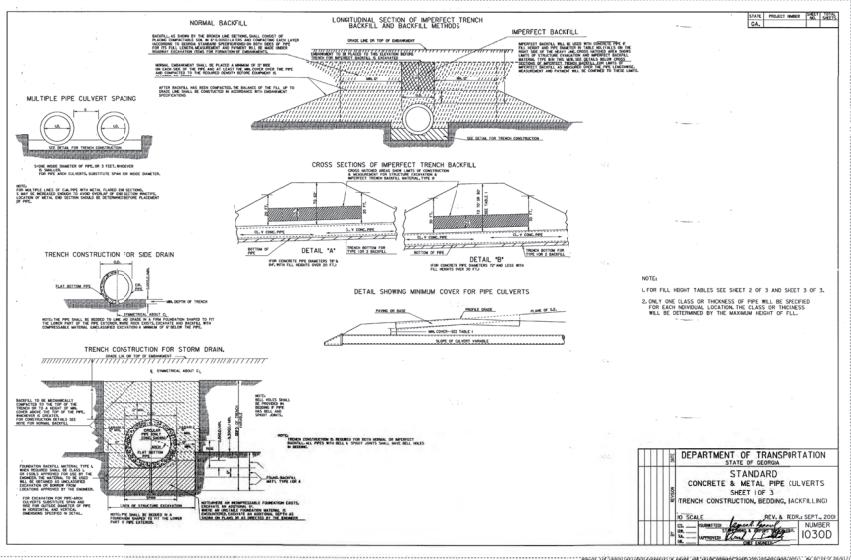
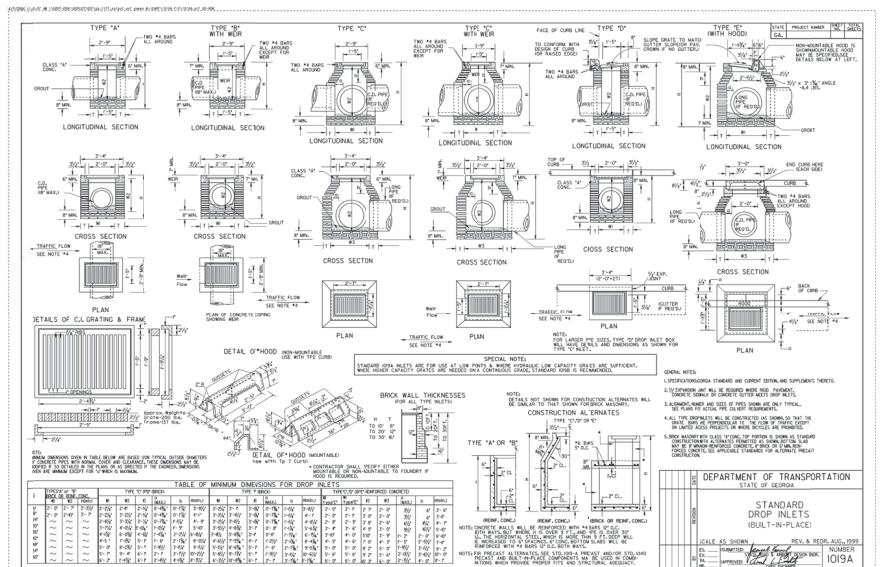
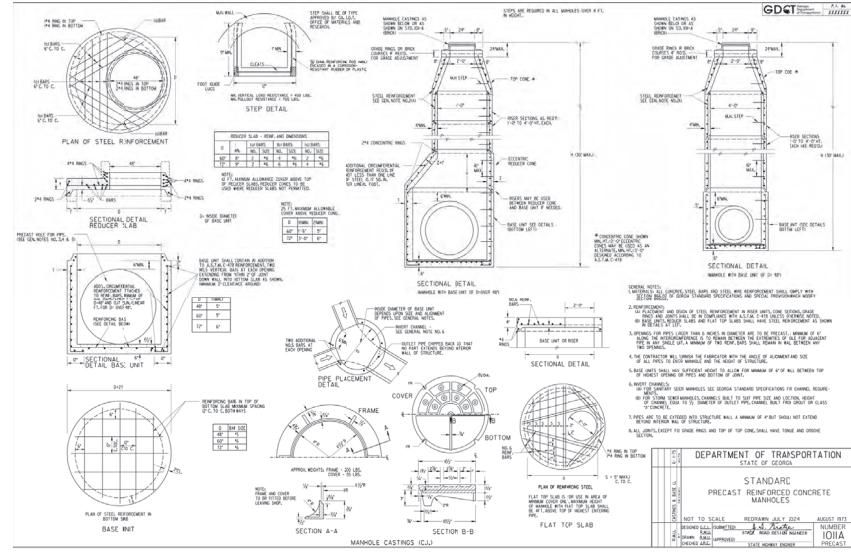
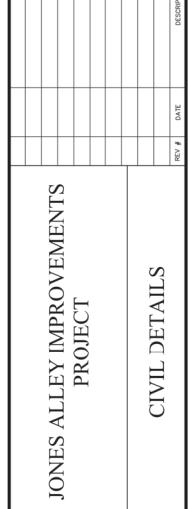
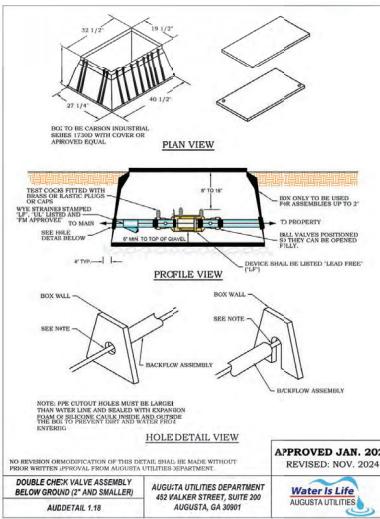
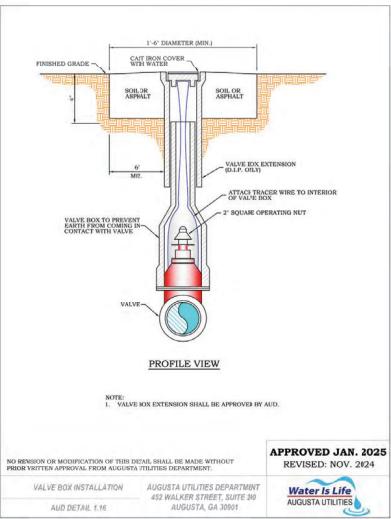
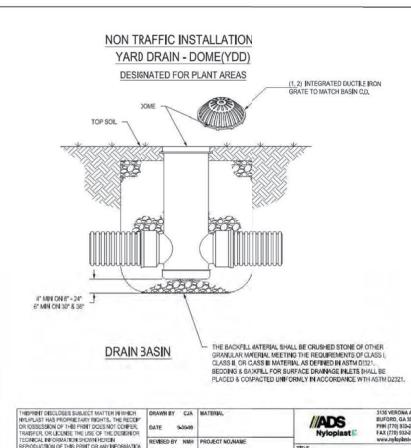
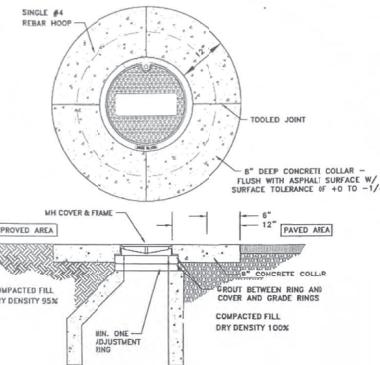
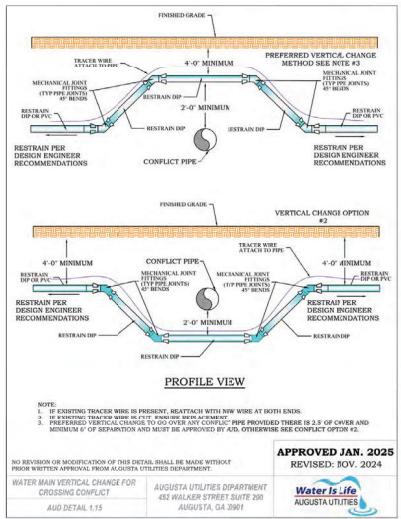
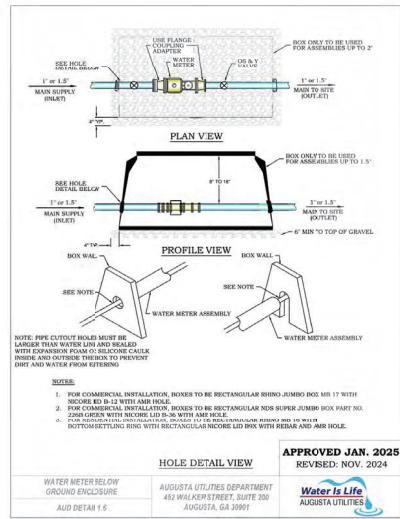
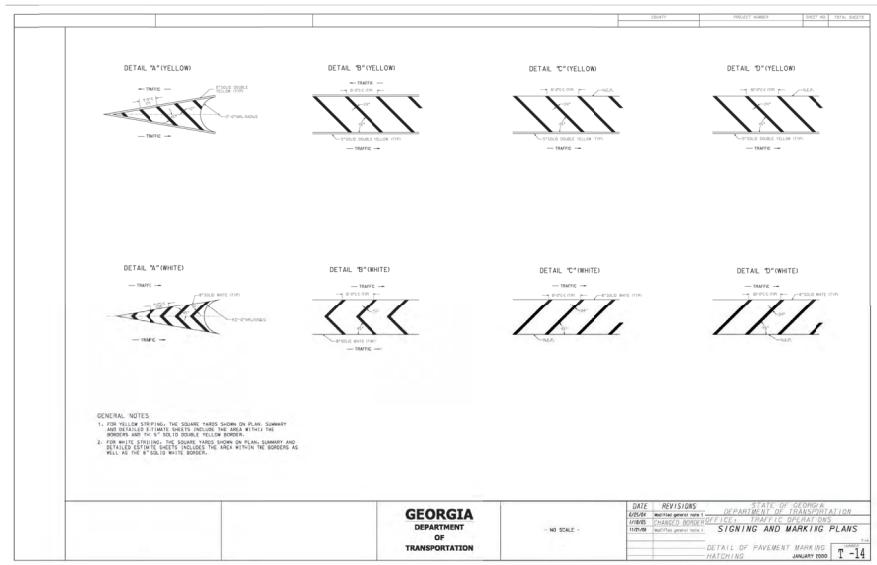


TABLE NO. R3501-R CONCRETE - CORRUGATED STEEL - CORRUGATED ALUMINUM													
PIPE DIAMETER	PIPE LENGTH	STANDARD CONCRETE - CORRUGATED STEEL - CORRUGATED ALUMINUM											
		1'-0"	1'-10"	2'-0"	2'-10"	3'-0"	3'-10"	4'-0"	4'-10"	5'-0"	5'-10"	6'-0"	6'-10"
12" CONCRETE	12'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
12" CONCRETE	12'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
15" CONCRETE	15'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
15" CONCRETE	15'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
18" CONCRETE	18'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
18" CONCRETE	18'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
24" CONCRETE	24'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
24" CONCRETE	24'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
30" CONCRETE	30'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
30" CONCRETE	30'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
36" CONCRETE	36'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
36" CONCRETE	36'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
42" CONCRETE	42'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
42" CONCRETE	42'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
48" CONCRETE	48'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
48" CONCRETE	48'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
54" CONCRETE	54'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
54" CONCRETE	54'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
60" CONCRETE	60'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
60" CONCRETE	60'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
66" CONCRETE	66'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
66" CONCRETE	66'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
72" CONCRETE	72'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
72" CONCRETE	72'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
78" CONCRETE	78'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
78" CONCRETE	78'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
84" CONCRETE	84'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
84" CONCRETE	84'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
90" CONCRETE	90'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
90" CONCRETE	90'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
96" CONCRETE	96'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
96" CONCRETE	96'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
102" CONCRETE	102'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
102" CONCRETE	102'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
108" CONCRETE	108'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
108" CONCRETE	108'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
114" CONCRETE	114'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
114" CONCRETE	114'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
120" CONCRETE	120'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
120" CONCRETE	120'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
126" CONCRETE	126'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
126" CONCRETE	126'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
132" CONCRETE	132'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
132" CONCRETE	132'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
138" CONCRETE	138'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
138" CONCRETE	138'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
144" CONCRETE	144'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
144" CONCRETE	144'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
150" CONCRETE	150'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
150" CONCRETE	150'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
156" CONCRETE	156'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
156" CONCRETE	156'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
162" CONCRETE	162'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
162" CONCRETE	162'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
168" CONCRETE	168'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
168" CONCRETE	168'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
174" CONCRETE	174'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
174" CONCRETE	174'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
180" CONCRETE	180'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
180" CONCRETE	180'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
186" CONCRETE	186'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
186" CONCRETE	186'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
192" CONCRETE	192'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
192" CONCRETE	192'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
198" CONCRETE	198'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
198" CONCRETE	198'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
204" CONCRETE	204'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
204" CONCRETE	204'-10"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
210" CONCRETE	210'-0"	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00	10.00
210" CONCRETE	210'-10"	10											



CRANSTON

GSWCC AND MPDES NOTES:

PROJECT NAME: JONES ALLEY IMPROVEMENTS PROJECT
ADDRESS: 1000 JONES ALLEY
CITY/COUNTY: AUGUSTA/RICHMOND ZIP CODE: 30901
DATE ON PLANS: 11/14/2025

GAR 100001 GAR 100002 GAR 100003
1. APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED.

2. LEVEL II CERTIFICATION: NAME: GSWCC ENGINEER NO#: XXXXXX EXP. DATE: XX-XX-XX
3. 24 HOUR CONTACT: WALT CORBIN, PE 706-821-1711
WCORBIN@GASTAGA.GOV

4. PRIMARY PERMITEE: CITY OF AUGUSTA
1000 JONES ALLEY
AUGUSTA 30901
706-821-1711
WCORBIN@GASTAGA.GOV

5. TOTAL DISTURBED ACREAGE OF THIS PROJECT: 0.70 ACRES
TOTAL PROJECT ACREAGE: 0.70 ACRES
6. CONSTRUCTION EXTC: NSL-78500
NSL-86746

7. THE INITIAL DATE ON PLANS IS 11/14/2025, REVISIONS ARE TO BE RESUBMITTED TO THE LOCAL ISSUING AUTHORITY, THE ENTITY REQUESTING THE REVISIONS, THE DATE THE CHANGE WAS MADE, AND THE DATE OF THE CHANGE WILL BE DENOTED IN THE DESIGNATED AREA ON THE PLAN SHEET.

8. NATURE OF CONSTRUCTION ACTIVITY: THE DEVELOPMENT OF THE JONES STREET ALLEY.

9. VICINITY MAP IF PROVIDED ON SHEET L001.

10. PROJECT RECEIVING WATERS:
WATERFALLING: SAVANNAH RIVER
ULTIMATE: SAVANNAH RIVER

11. "I CERTIFY UNDER PENALTY OF PERJURY THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATION DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED DESIGNER." 

LEVEL II CERTIFICATION: NAME: GSWCC ENGINEER NO#: XXXXXX EXP. DATE: XX-XX-XX

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

13. THERE ARE NO BUFFER ENROACHMENTS ON THIS PROJECT, IF YES, REFER TO SHEET(S) N/A FOR BUFFER DESCRIPTIONS.

14. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

15. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IN FULL IMPLEMENTATION OF THE APPROVED PLAN, DURING PRE-CONSTRUCTION, CONSTRUCTION, AND POST-CONSTRUCTION. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

16. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14-DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY PLANTINGS.

17. MULCH FOR THE REINFORCEMENT OF ALL PETROLEUM SPILLS AND LEAKS: LOCAL STAFF AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO ALL ON-SITE PERSONNEL.

MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA AND WILL BE MAINTAINED DURING CONSTRUCTION, BUT IS NOT LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, DOGGLES, CAT UTER, SANITARY SAMMIES, AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.

SPILL PREVENTION, PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL STATE, AND FEDERAL REGULATIONS.

FOR SPILLS THAT IMPACT SURFACE WATER (IE LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24-HOURS AT 1-(800)-426-2675.

FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24-HOURS AT 1-(800)-426-2675.

FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION (EPD) WILL BE CONTACTED WITHIN 24-HOURS. GA. EPD (404)-656-4863 OR (800)-241-4115 AND THE NATIONAL RESPONSE CENTER AT (800)-424-8802

FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND REPORTED AS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1,320 GALLONS OF PETROLEUM IS STORED ON-SITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS IN SUCH A CASE, THE CONTRACTOR SHALL PREPARE A SPILL PREVENTION, CONTAINMENT, AND COUNTERMEASURES PLAN PREPARED BY A LICENSED PROFESSIONAL.

SEE THIS SHEET FOR DETAILED TIMELINE OF MAJOR CONSTRUCTION ACTIVITIES.

19. GRAPHIC SCALE AND NORTH ARROW PROVIDED ON PLAN SHEETS L601.

20. THE CONTOUR INTERVAL ON PLAN SHEETS L601 IS 1'.

21. ARE ALTERNATE CHPS TO BE USED ON THIS PROJECT NO.

22. THE DELINEATION OF THE APPLICABLE 25-FOOT OR 50-FOOT UNDISTURBED BUFFERS ADJACENT TO STATE WATERS AND ANY ADDITIONAL BUFFERS REQUIRED BY THE LOCAL ISSUING AUTHORITY CAN BE FOUND ON PLAN SHEET(S) N/A.

23. THE DELINEATION OF ALL ON-SITE WETLANDS AND ALL STATE WATERS LOCATED WITHIN 200 FEET OF THE PROJECT SITE IS APPLICABLE, CAN BE FOUND ON PLAN SHEET(S) N/A.

24. DELINEATION AS TO THE POINTS OF CONTRIBUTING DRAINS/AREAS ON THE PROJECT SITE CAN BE FOUND IN THE HYDROLOGY SUMMARY.

25. ESTIMATE OF RAINOFF COEFFICIENT OF THE SITE PRIOR TO AND AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED: PRE: 0.95 POST: 0.98

26. STORM DRAIN PIPE AND WEIR VELOCITIES WITH APPROPRIATE OUTLET PROTECTION: STORM DRAIN PIPE Q: V, L, W, D, AND SIZE PROVIDED ON SHEET N/A.

27. SOIL SERIES FOR THE PROJECT SITE AND THEIR DELINEATION IS PROVIDED ON SHEET L601.

28. THE LIMITS OF DISTURBANCE FOR EACH PHASE OF CONSTRUCTION IS PROVIDED ON PLAN SHEET L601.

29. SEE CALCULATIONS PROVIDED ON THIS SHEET FOR SEDIMENT STORAGE REQUIREMENTS.

30. THE LOCATION OF BEST MANAGEMENT PRACTICES ARE CONSISTENT WITH AND NO LESS STRINGENT THAN THE APPLICABLE STATE AND LOCAL EROSION AND SEDIMENTATION CONTROL CODING SYMBOLS FROM THE MANUAL, CHAPTER 6, WITH LEGEND ARE PROVIDED ON SHEETS L601.

31. DETAILED DRAWINGS FOR ALL STRUCTURAL PRACTICES ARE PROVIDED ON SHEET(S) L602 - L603.

32. VEGETATIVE PRACTICES:

1. SEPTEMBER 15 - FEBRUARY 15, A MIXTURE OF UNROLLED COMMON BERMUDA 6 LBS./ACRE AND RYE GRASS SEED 21 LBS./ACRE APPLIED SIMULTANEOUSLY.

2. OCTOBER 1 - MARCH 1, UNROLLED COMMON BERMUDA 6 LBS./ACRE.

3. APRIL 1 - SEPTEMBER 15, UNROLLED COMMON BERMUDA 10 LBS./ACRE.

4. FERTILIZER GRANULE WILL BE A COMMERCIAL 6-12-12 INCORPORATED INTO THE SOIL AT 1500 LBS./ACRE, ALSO 1000 LBS./ACRE OF 10-10-10.

5. NOT LESS THAN 30 DAYS AFTER SEDDING, APPLY AMMONIUM NITRATE (NOT LESS THAN 20% NITRATE) AT A RATE EQUAL TO 50 LBS. OF AVAILABLE NITROGEN /ACRE. APPLICATION BETWEEN JUNE THRU AUGUST.

6. ALL SOILS ARE TO BE TILLED TO A MAXIMUM DEPTH OF 12 INCHES AND NO DEEPER.

7. FOR ALL DATES NOT COVERED UNDER THE GRASSING SCHEDULE THE DISTURBED SOIL SHALL BE RECOVERED.

8. CONTRACTOR TO ENSURE THAT EXISTING ON SITE VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION IS PRESERVED AND THAT ALL DISTURBED PORTIONS OF THE SITE ARE STABILIZED.

9. ALL DISTURBED AREAS ARE TO BE STABILIZED DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

STORMWATER CALCULATIONS:

1. REQUIRED SEDIMENT STORAGE: TOTAL AREA: 0.70 AC DISTURBED AREA: 0.70 AC
SEDIMENT STORAGE REQUIRED: 67 CY * 0.70 AC = 47 CY
SEDIMENT STORAGE PROVIDED BY Sd1+Ns: 120 CY
2. REQUIRED SEDIMENT STORAGE = 47 CY
(67 CY/ACRE x 0.70 AC DISTURBED AREA)
3. TOTAL REQUIRED SEDIMENT STORAGE: = 47 CY
4. TOTAL AVAILABLE SEDIMENT STORAGE: = 120 CY
5. IS THE AVAILABLE STORAGE (120 CY) GREATER THAN STORAGE REQUIRED (47 CY)?

APPROXIMATE START DATE: ---

APPROXIMATE FINISH DATE: ---

MONTHS OF CONSTRUCTION ACTIVITIES											
INSTAL INITIAL SEDIMENT CONTROL STRUCTURES				CLEARING & GRUBBING				PAVEMENT & BUILDING CONSTRUCTION			
REMOVAL OF SEDIMENT CONTROL STRUCTURES				FINAL GRASSING & STABILIZATION							
0	2	4	6	8	10	12					
INITIAL							INTERMEDIATE				FINAL

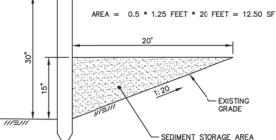
NOTES:
1. ALL DISTURBED AREAS NOT INTENDED FOR PAVING SHALL BE STABILIZED USING TEMPORARY MEASURES Ds2 AND PERMANENT MEASURES Ds3.

SILT FENCE SEDIMENT STORAGE CALCULATION

DISTURBED AREA DRAINING TO SILT FENCE: 0.70 ACRES

STORAGE CALCULATIONS

1. REQUIRED SEDIMENT STORAGE = 67 CY/AC * 0.70 AC = 47 CY
2. LENGTH PROVIDED = 260 LF
3. STORAGE PROVIDED = AREA * LENGTH PROVIDED
STORAGE PROVIDED = 12.50 SF * 260 LF = 3250 SF
STORAGE PROVIDED = 3250 SF / 27 CF/CY = 120 CY



ISSUED FOR BID - 11/14/2025

JONES ALLEY IMPROVEMENTS
PROJECT

EROSION CONTROL NOTES



Know what's below.
Call before you dig.

DRAWN BY: BMR

CHECKED BY: RSD

APPROVED BY: RSD

DATE: 11/14/2025

SCALE: AS SPECIFIED

JOB No.: 2024-0328

DRAWING No.: L600

CRANSTON

A

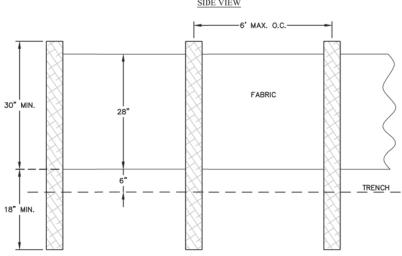
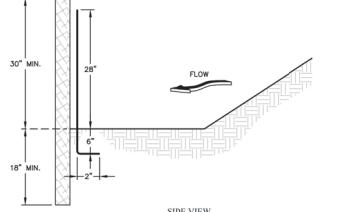


STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
(Co)	CONSTRUCTION EXIT			A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES THUSLY PROTECTING PUBLIC STREETS.
(Cw)	CONCRETE WASHDOWN			EXCAVATED AREA MAINTAINED WITH ORANGE FENCING USED FOR CONCRETE WASHDOWN OF TOOLS & CHUTES.
(Sd1)	SEDIMENT BARRIER			A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. CAN BE MADE OF STRAW OR HAY, BRUSH LOGS AND POLES, GRAVEL OR A SILT FENCE.
(Sd2)	INLET SEDIMENT TRAP			A TEMPORARY PROTECTIVE DEVICE FORMED AT OR AROUND AN INLET TO A STORM DRAIN TO TRAP SEDIMENT

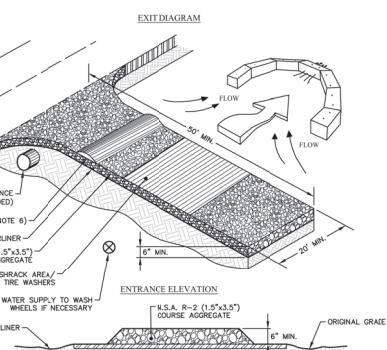
VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
(Du)	DUST CONTROL ON DISTURBED AREAS			CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON CONSTRUCTION SITE, ROADWAYS AND SIMILAR SITES.



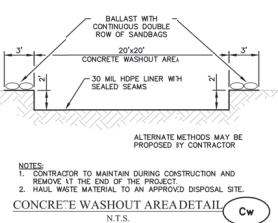
NOTES:
1. STEEL OR JOT APPROVED WOOD POSTS.

SILT FENCE - TYPE A **Sd1-NS**
N.T.S.



NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA.
3. GRAVEL PAD SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5" x 3.5") COURSE AGGREGATE.
4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
5. PIPE WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 6".
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 6".
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MANTAIN DRAINAGE OTCHES.
8. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA.
9. GRAVEL PAD SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5" x 3.5") COURSE AGGREGATE.
10. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
11. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD INTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CRUSHED STONE
CONSTRUCTION OUTLET **Co**
N.T.S.



NOTES:
1. MAINTAIN 30' MIN. TO MAINTAIN CONSTRUCTION AND REMOVE AT THE END OF THE PROJECT.
2. HAUL WASTE MATERIAL TO AN APPROVED DISPOSAL SITE.
CONCRETE WASHOUT AREA DETAIL **Cw**
N.T.S.

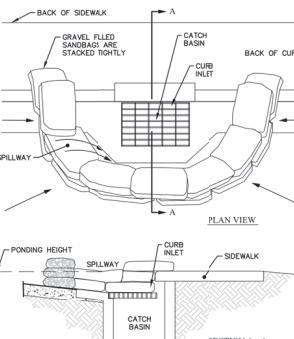
TEMPORARY METHODS:

MULCHES (SEE Ds1)
SEE Ds1 - DISTURBED AREA STABILIZATION (MULCHING ONLY). REFER TO SPECIFICATION Tc-1 FOR MULCHING. USE 3" TO 4" DEEP OF SYNTHETIC HORN TO BIND MULCH MATERIAL.
VEGETATIVE COVER (SEE Ds2)
SEE Ds2 - DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING).
SPRAY-ON ADHESIVES
FOR USE ON UNPAVED AREAS THAT NOT MUCK SOILS. REFER TO SPECIFICATION Tc-1 - TACKIFIERS.
TILLAGE
DESIGNED TO ROUGHEN AND BRING CLOUDS TO THE SOIL SURFACE. ELEGON (TYPE OF FERTILIZER) ON WINDWARD SIDE OF SITE. USE ELEGON TYPE PLANTER TO ACHIEVE DESIRED EFFECT. THIS IS AN EMERGENCY MEASURE TO BE USED IN CONJUNCTION WITH OTHER PRACTICES.
IRRIGATION
SPRINKLE THE SITE WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.
BARRIERS
USE SOLID BOARD FENCE, SNOW FENCE, SILT FENCE, ETC. TO PROTECT SOIL FROM WIND. USE 3' TO 4' HIGH MATERIAL TO CONTROL AIR CURRENTS AND SOL EROSION. PLANT FLOWERS AND BUSHES AT RIGHT ANGLES AT INTERVALS OF 1X THEIR HEIGHT TO CONTROL WIND EROSION.
CALCIUM CHLORIDE
APPLY AT A RATE TO KEEP THE SURFACE MOIST.

PERMANENT METHODS:
PERMANENT VEGETATION
SEE Ds3 - DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING). EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION F LEFT IN PLACE.
STONE
COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL. SEE SPECIFICATION C-1 - CONSTRUCTION ROAD STABILIZATION.
TOP SOILING
SEE SPECIFICATION Tp - TOP SOILING

Maintenance
PROHIBIT TRAFFIC ON SURFACE AFTER SPRAYING.
SUPPLEMENT SURFACE COVERING AS NEEDED.

DUST CONTROL ON DISTURBED AREAS **Du**



NOTES:
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SURFACES. BARRIERS MUST BE POSITIONED TO SEPARATE FROM RUNOFF.
2. PLACE CURB TYPE SEDIMENT BARRIERS ON HORIZONTAL SURFACES. BARRIERS MUST BE POSITIONED TO SEPARATE FROM RUNOFF.
3. CURB TYPE SEDIMENT BARRIERS, WHICH ARE FILLED WITH #57 STONE, LAYERED AND PACKED TIGHTLY.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

CURB INLET
SEDIMENT BARRIER (GRAVEL BAGS) **Sd2-P**
N.T.S.



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Call before you dig.

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JONES ALLEY IMPROVEMENTS
PROJECT

EROSION CONTROL DETAILS

DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	AS SPECIFIED
JOB No.:	2024-0328
DRAWING No.:	L602

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Ultra-Inlet Guard Plus® Installation and Maintenance Instructions

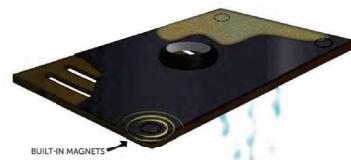
Part# 990 - 982 Ultra-Inlet Guard Plus Oil & Sediment Plus Model
Part# 990 - 985 Ultra-Inlet Guard Plus Oil & Sediment Plus Model, Curb-Style
Part# 970 - 972 Ultra-Inlet Guard Plus Oil & Sediment Model
Part# 970 - 975 Ultra-Inlet Guard Plus Oil & Sediment Model, Curb-Style

Installation:

1. Clean dirt and debris from grating
2. Place Inlet Guard on top of grating
3. Line up fabric with grating ensuring magnets stick securely

Maintenance:

- Remove built up sediment from Ultra-Inlet Guard Plus and surrounding area as needed
- Remove sediment and debris from overflow port
- Inspect periodically and after every significant rain event for misalignment
- Inspect periodically for wear and tear and premature damage



UltraTech International, Inc. - 11542 Davis Creek Court, Jacksonville, Florida 32256 USA
(800) 353-1611 - 1-804-292-1611 - stormwaterproducts.com



Ultra-Inlet Guard Specification

Product: Ultra-Inlet Guard

Manufacturer:
UltraTech International, Inc.
11542 Davis Creek Court
Jacksonville, FL 32256 USA

Email: info@stormwaterproducts.com
www.stormwaterproducts.com



1.0 Description of Work

1.1 This work shall consist of furnishing, installing, maintaining, and removing Ultra-Inlet Guard sediment control device as directed by the engineer or as shown on the site drawings.

2.0 Ultra-Inlet Guard Materials

2.1 There two types of Ultra-Inlet Guard
Ultra-Inlet Guard (Standard) - Overflow included
Ultra-Inlet Guard - Curb-Style - Overflow included

2.2 Ultra-Inlet Guard shall be manufactured from a specially designed nonwoven, polypropylene geotextile and sewn by a double needle machine, using a high strength nylon thread.

2.3 Ultra-Inlet Guard shall be manufactured to fit the opening of the catch basin or drop inlet. Ultra-Inlet Guard will have the following features: rare earth magnets encased in the fabric of the unit. Ultra-Inlet Guard shall have a large overflow port in the center of the unit as a preventative measure for flooding/bonding.

2.4 The Ultra-Inlet Guard unit shall utilize a nonwoven fabric with the following characteristics:

UltraTech International, Inc. - 11542 Davis Creek Court, Jacksonville, Florida 32256 USA
(800) 353-1611 - 1-804-292-1611 - stormwaterproducts.com

Specifications for Ultra-Inlet Guard

Property	Test Method	Units	Test Results
Grab Tensile	ASTM D4632	lbs	207 x 223
Grab Elongation	ASTM D4632	%	58 / 59
Puncture	ASTM D6241	lbs	99
Trapezoid Tear	ASTM D4533	lbs	81 x 75
AGS	ASTM D4751	US Sieve	60
Flow Rate	ASTM D4491	galm/in²ft	92
Permeability	ASTM D4491	sec ⁻¹	2.60

3.0 Construction Sequence

3.1 To install Ultra-Inlet Guard in the catch basin, remove any excess dirt or debris and place the unit on the grate insuring magnets attach securely.

3.2 To remove Ultra-Inlet Guard, remove any build-up of sand, dirt, sediment, trash and debris and lift up.

3.3 Ultra-Inlet Guard is reusable. Once the construction cycle is complete, remove Inlet Guard from the grating and clean. Ultra-Inlet Guard should be stored out of sunlight until the next use.

4.0 Basis of Payment

4.1 Payment for all Ultra-Inlet Guard units used during construction is to be included in the bid price for the overall erosion and sediment control plan unless unit price is requested.

Note: This information is provided as reference only and is not intended as a warranty or guarantee. UltraTech International, Inc. assumes no liability in connection with the use of this information (8/1/24).

CURB INLET
SEDIMENT BARRIER (LOW PROFILE) S2-L
N.T.S.

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(800) 292-1611 - stormwaterproducts.com

Rev. 0219.25

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JONES ALLEY IMPROVEMENTS
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DRAWN BY:	BMR
CHECKED BY:	RSD
APPROVED BY:	RSD
DATE:	11/14/2025
SCALE:	AS SPECIFIED
JOB No.:	2024-0328
DRAWING No.:	L603



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GENERAL REQUIREMENTS

1. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) 2021, INCLUDING SPECIAL INSPECTIONS IN ACCORDANCE WITH CHAPTER 18.
2. SPECIAL INSPECTIONS REPORTS AND A FINAL REPORT SHALL BE SUBMITTED TO THE BUILDING OFFICIAL PRIOR TO THE TIME THAT PHASE OF WORK IS APPROVED FOR INSPECTION.
3. WHERE A SECTION OR DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY TO ALL SIMILAR CONDITIONS.
4. CORRECT ALL LIMITS AND DEPTHS OF DEPRESSIONS FOR FLOOR FINISHES WITH ACTUAL DRAWINGS AND SCHEDULES. LIMITS SHOWN ON STRUCTURAL DRAWINGS ARE SCHEMATIC.
5. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, AND ALL OTHER ERECTION METHODS SHALL BE DETERMINED BY THE CONTRACTOR.
6. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS SHOWN ON PLANS.
7. CONTRACTOR SHALL COORDINATE AND PROVIDE ALL DIMENSIONS AND ELEVATIONS SHOWN HEREIN WITH ARCHITECTURAL PLANS, SECTION, AND DETAILS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOT MAKE ANY CHANGES OR WRITING ON DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND ELEVATIONS NOT SHOWN HEREIN.
8. DIMENSIONS AND ELEVATIONS RELATED TO EXISTING STRUCTURE ARE APPROXIMATE AND SHALL BE 'FIELD VERIFIED' BY THE CONTRACTOR PRIOR TO CONSTRUCTION OR MATERIALS PURCHASE. CONTRACTOR SHALL NOTIFY ARCHITECT OR ENGINEER IN WRITING OF DISCREPANCIES.
9. ADHESIVE FLOOR SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS. SPECIAL ATTENTION SHALL BE GIVEN TO THE DRILLING, CLEANING, AND PREPARATION OF HOLES. WHERE ADHESIVE ANCHORS ARE REQUIRED, THE CONTRACTOR SHALL USE THE FIRMEST AND MOST DURABLE ADHESIVE AND CURING TIME OF ADHESIVE TYPE SPECIFIED.

SUBGRADE PREPARATION

1. CONTRACTOR SHALL STRIPE AND REMOVE ALL EXISTING TOTPOD, ROOTS, AND ORGANIC MATERIALS, AND SHALL REMOVE THE EXISTING ARBORETUM, AND SHALL REMOVE THE EXENT OF BUILDING FOUNDATION LIMITS. THE DEPTH OF STRIPPING SHALL BE THAT REQUIRED TO REMOVE SIGNIFICANT ROOT ZONES, SMALL TREE STUMPS, AND OTHER UNDERGROUND OBSTACLES, AND SHALL NOT EXCEED 12 INCHES DEEP.
2. AFTER TOTPOD ETC, WITHIN AND TO A POINT 10 OUTSIDE THE BUILDING CONSTRUCTION AREA HAVE BEEN REMOVED FROM THE SITE, THE UPPER 24" OF EXPOSED SOIL SHALL BE REMOVED AND REPLACED WITH A 12" THICK LAYER OF 100% CLEAN, GRAVEL-FREE (ADM 4549) BY PROOFROLLING WITH A FULLY LOADED PNEUMATIC TRED TANDEM AXLE DUMP TRUCK CAPABLE OF TRANSFERRING A LOAD OF 10 TO 20 TONS BY OVERLAPPING PASSES. A MINIMUM OF 6 COMPLETE PASSES SHALL BE MADE WITHIN THE BUILDING AREA.
3. THE EXISTING SOILS SHALL BE DENSIFIED AND STABILIZED BY A SOIL SITES LABORATORY SUPERVISED BY A GEOTECHNICAL ENGINEER, UNDERCUT, BACKFILL, AND COMPACT AREAS WHICH PUMP DEFECT, OR RUT EXCESSIVELY OR WHICH DO NOT STABILIZE UNDER A 1000 LBS. LOAD.
4. AFTER COMPLETION OF DENSIFICATION OF EXISTING SOILS PLACE STRUCTURAL FILL BAGGING AREA IN IN 8' x 1' LOTS) COMPACTED WITH A MINIMUM DENSITY AS SPECIFIED FOR THE EXISTING SOILS. THE BAGGING AREA SHALL NOT CONTAIN ANY GRANULAR MATERIAL CONTAINING LESS THAN 15% FINES PASSING THROUGH THE NO. 200 SIEVE AND FREE OF ORGANIC BOULDERS, OR OTHER DELETERIOUS MATERIALS.

FOUNDATION

1. FOUNDATION DESIGN IS BASED ON A PRESUMPTIVE 1500 PSF MAXIMUM ALLOWABLE SOIL BEARING PRESSURE. PROTRACT, TRICONSTRUCTION ACTUAL SOIL CONDITIONS SHALL BE TESTED AND DETERMINED BY A QUALIFIED SOIL TESTER.
2. ALL FOUNDATION FILL SUBGRADE SOILS SHALL BE COMPACTED AS FOLLOWING (REF: ASTM D-698):
 - A. 15% STANDARD PROCTOR FOR GREATER THAN 18" BELOW FINAL FILL.
 - B. 20% STANDARD PROCTOR FOR THE UPPER 18" BENEATH BUILDINGS AND PAVEMENTS.
3. SITES TESTING LABORATORY SHALL CONDUCT COMPACTION TESTS IN ACCORDANCE WITH AS 4540. RATE OF COMPACTION SHALL AS FOLLOWS:
 - A. 100% TEST FOR EACH 100 LINEAR FEET OF CONTINUOUS FOOTING;
 - B. 100% TEST FOR EACH 100 LINEAR FEET OF CONTINUOUS FOOTING;
 - C. ONE TEST FOR EACH 1000 S.F. OF SLAB.
4. REMOVE ALL WATER SOFTENED SOILS FROM FOOTING EXCAVATIONS PRIOR TO PLACING CONCRETE. REINFORCING VOIDS WITH ADDITIONAL CONCRETE.
5. SUPPORT ALL BURDEN ON REINFORCEMENT IN FOUNDATION WITH WHILE CONCRETE BRICKS A 4" X 8" X 16".
6. ALL FOOTING AND OTHER FOUNDATION REINFORCING SHALL BE TIED IN PLACE PRIOR TO CONCRETE PLACEMENT.
7. WHERE FINISHED GRADES DIFFER ON OPPOSITE SIDES OF FOUNDATION WALLS, PROVIDE TEMPORARY BRACING. PREVENT LATERAL MOVEMENT UNTIL ALL ADJACENT CONCRETE, COMPACTION, FLOOR SLABS AND FRAMING AT NEXT LEVEL OVER HAS BEEN COMPLETED.
8. CONCRETE FLOOR SLABS AND FRAMING AT NEXT LEVEL OVER SHALL BE MAXIMUM 2' 0" VERTICALLY SPACED NO LESS THAN 4" O.C. HORIZONTALLY TO MAINTAIN MINIMUM "2" COVER BELOW FINISHED EARTH GRADE.
9. WHERE GRAVITY PLUMMING LINES OCCUR ON THE TOP OF WALL FOOTING, STEP FOOTING SHALL BE PROVIDED. COORDINATE PLUMBING LINE LOCATIONS ON THE TOP OF WALL FOOTING DETAILS. INTERFERENCE OFFSET AT GRAVITY SEWER UNLESS OTHERWISE SPECIFIED. COORDINATE WITH PLUMBING DRAWINGS FOR LOCATIONS, SIZES, AND INVERTS.
10. CONSTRUCTION JOINTS IN CONTINUOUS FOOTINGS TO BE FORMED VERTICALLY WITH MINIMUM 1/4" THICK JAMB.
11. CONSTRUCTION JOINTS IN CONTINUOUS FOOTINGS TO BE FORMED VERTICALLY IN ACCORDANCE WITH FOUNDATION DETAILS IN PLANS.

CAST-N-PLACE REINFORCED CONCRETE

1. THE FOLLOWING ACI STANDARDS (LATEST EDITION) APPLY:

- A. ACI 318 - CODE
- B. ACI 315 - DESIGNING
- C. ACI 301 - SPECIFICATIONS
- D. ACI 304 - SLACING
- E. ACI 347 - FORMWORK
- F. ACI 211.1 - MIX PROPORTIONING
- G. ACI 305 - HOT WEATHER CONCRETING
- H. ACI 306 - COLD WEATHER CONCRETING

2. THE DESIGN OF THE FORMED CONCRETE (415 PSC) WITH MINUS DESIGN THE

STRUCTURAL ELEMENT

28 DAY COMPRESSIVE STRENGTH

CONCRETE MASON

1. APPLICABLE MASONRY CODES:
 - A. **TMS 40-16 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES**
 - B. **ASCE 7-16: SEISMIC CODE REQUIREMENTS FOR MASONRY STRUCTURES**
2. CONCRETE MASONRY UNITS SHALL BE LOAD BEARING TYPE CONFORMING TO ASTM C-90 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 600 PSI.
3. ALL MASONRY UNITS SHALL BE BONDED TO CONCRETE FLOOR AND CEILINGS.
4. MORTAR SHALL CONFORM TO ASTM C-270 TYPE S.
5. REINFORCED WALLS, STIFFENERS, PIERS, ETC. SHALL BE FILLED IN MAXIMUM OF 4'-0" LIFTS. FILLING SHALL BE FULLY METAL (ASTM C404 COURSE) GROUT OR REGULAR WEIGHT CONCRETE (ASTM C434) WITH A MAXIMUM SIZE AGGREGATE HAVING NO LESS THAN 3.000 PSI (28 DAY) STRENGTH. SEE SPECIFICATIONS.
6. PLAIN AND TWO CELL UNITS SHALL BE USED FOR ROCKS THAT ARE TO HAVE CELLS FILLED WITH CONCRETE. WEB SHELLS ADJACENT TO CELLS THAT ARE TO BE FILLED ARE TO BE BEDDED IN MORTAR.
7. FILL CELLS AS NOTED ON DRAWINGS WITH 3000 PSI GROUT CONFORMING TO ASTM C-476 SPECIFICALLY DESIGNED FOR FILLING CELLS.
8. UNREINFORCED MASONRY UNITS NOTED IN SCHEDULE AT DOWELS AND SPICES (U.N.O.).
9. HORIZONTAL JOINT REINFORCING TO BE CONTINUOUS THROUGH REINFORCED CELLS.
10. HORIZONTAL JOINT REINFORCING TO BE GALVANIZED WIRE TRUSS OR LADDER TYPE. HORIZONTAL JOINT REINFORCING CONFORMING TO ASTM A152 AT 16" O.C. OR AS INDICATED ON DRAWINGS.
11. SEE ARCHITECTURAL DRAWINGS FOR THE EXTENT AND EXACT LOCATION OF MASONRY JOINTS.
12. WALL CONTROL JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
 - A. WALL CONTROL JOINTS SHALL BE PROVIDED IN U.L. CONCRETE MASONRY WALLS AT LOCATIONS INDICATED ON THE STRUCTURAL DRAWINGS BUT AT A SPACING NOT GREATER THAN 10'-0".
 - B. HORIZONTAL JOINT REINFORCING SHALL BE INTERRUPTED AT EACH SIDE OF WALL CONTROL JOINTS.

2 TYP. BOND BEAM REINFORCING (CORNER)
S100 SCALE: 1" = 1'-0"

This technical diagram illustrates a cross-section of a concrete wall foundation, showing the following key components and dimensions:

- Vertical Reinforcement:** #5 vertical bars at 18" O.C. vertical, with a maximum wall height of 14'-0" ft.
- Horizontal Reinforcement:** #5 horizontal bars at 48" O.C. vertical, with a maximum wall length of 14'-0" ft.
- Base Reinforcement:** #5 long bias bars at 12" O.C. top & bottom.
- Backfill:** Structural backfill per 1' lifts, compacted to 100%.
- Soil Interaction:** Soil designed by others, fill void below grade with grout.
- Foundation Components:** Bondbeam, 8" CMU block, moisture barrier, and isolation joint.
- Architectural Reference:** Refer to architectural for drainage.
- Clearances:** 3" clear typ. at top and bottom, and 12" clear typ. at side.
- Existing Structure:** Existing concrete slab on compacted subgrade.
- Other Notes:** Sawcut and remove existing concrete to install footings; add isolation joint and reinforce.

1 EXTERIOR END WALL
S100 SCALE: 1 1/2" = 1'-0"

JONES ALLEY IMPROVEMENTS

MU WALL SECTION AND

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KL
JDU
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11/14/2025
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2024-0328

S10



JONES STREET ROADWAY
AND
ALLEY IMPROVEMENTS
ARCHITECTURAL GENERAL
SPECIFICATIONS

ISSUED FOR BID - 11/14/2025

DRAWN BY: LOGAN TRUITT

CHECKED BY: NICHOLAS DICKINSON

APPROVED BY: NICHOLAS DICKINSON

DATE: 11/14/2025

SCALE:

JOB No.: 23077

DRAWING No.:

A101

DIVISION 04 – MASONRY
SECTION 04 2000
UNIT MASONRY

PART 1 GENERAL

1.01 SECTION INCLUDES

- Concrete Block
- Concrete Building Brick
- Decorative Facing Brick
- Mortar
- Reinforcement and anchorage.
- Settings.
- Accessories.

PART 2 PRODUCTS

2.01 CONCRETE MASONRY UNITS

- Concrete Block: Comply with referenced standards as follows:
 1. Size: Standard. Minimum dimensions of 15 by 8 inches and nominal depths as indicated on drawings for specific locations.
 2. Special Shapes: Provides nonstandard blocks configured for corners.
 - Provide bullock units for outside corners.
 - Provide corner units: ASTM C50. Refer to structural specifications.
 - Hollow Block, as indicated.
- Concrete Brick:
 1. Size: Modular.
 2. Concrete Building Brick: ASTM C55; lightweight, solid, for concealed and below grade use.

2.02 BRICK UNITS

- Manufacturers:
 1. Manufacturers: www.ceramericainc.com.
 2. Substitutions: Not permitted.
- Facing Brick: ASTM C216, Type FBS Smooth, Grade SW.
- Color and texture: Selected to provide a close match to existing material.
- Size: Standard. As indicated on drawings.
- Special shapes: Modular units as required by conditions indicated, unless standard units can be shown to produce equivalent effect.

2.03 MORTAR MATERIALS

- Masonry Cement: ASTM C80/C91. Type N.
 - Colored mortar: Premixed cement as required to match Architect's color sample.
- Portland Cement: ASTM C110/C130M, Type I, color as required to produce approved color sample.
 1. Not more than 0.60 percent alkali.
 2. Hydrated Lime: ASTM C207, Type S.
 3. Mortar Aggregates: ASTM C114.
 4. Grout Mortar: ASTM C404.
 5. Water: Clean and potable.
 6. Packaged Dry Material for Mortar for Unit Masonry: Premixed Portland cement, hydrated lime, and sand; complying with ASTM C114.
 7. Mortar: ASTM C270 and capable of producing mortar of the specified strength in accordance with ASTM C270 with the addition of water only.
 8. Color: Mineral pigments added as required to produce approved color sample.
 9. Water-repellent mortar or use with water repellent masonry units.

2.04 REINFORCEMENT AND ANCHORAGE

- Manufactures:
 1. Blok-Lok Limited: www.blok-lok.com/#sls.
 2. Hohmann & Barnard, Inc: www.h-b.com/#sls.
 3. WIRE-BONDING: www.wirebonding.com/#sls.
 4. Single Wythe: See section 6.00, Product Requirements.
- Reinforcing Steel: ASTM A6/A615M, Grade 40 (40,000 psi), deformed billet bars; galvanized.
- Joint Reinforcement: Use ladder type joint reinforcement where vertical reinforcement is involved and truss type elsewhere, unless otherwise indicated.
- Single Wythe Joint Reinforcement: ASTM A95/A95M.
- Multiple Wythe Joint Reinforcement: ASTM A95/A95M.
- Type: Truss or ladder.
- Material: ASTM A106/A106M steel wire, mill galvanized to ASTM A641/A641M Class 3. Size: 0.1483 inch side rods with 0.1483 inch cross rods; width as required to provide not less than 5/8 inch of mortar coverage on each exposure.
- Adjustable Multiple Wythe Joint Reinforcement: ASTM A95/A95M.
- Type: Truss or ladder, with adjustable ties or tabs spaced at 16 in on center.
- Material: ASTM A106/A106M steel wire, hot dip galvanized after fabrication to ASTM A153/A153M Class B.
- Size: 0.175 inch side rods with 0.1483 inch cross rods and adjustable components of 0.1875 inch diameter. Components required to provide not less than 5/8 inch of mortar coverage from each masonry face.
- Vertical adjustment: No more than 1/4 inches.
- Seismic Feature: Provide lip, hook, or clip on extended leg of wall ties to engage or enclose not less than 1/4 inches of masonry wythe.
- G. Masonry Veneer Anchors: Two anchors that permit differential movement between masonry veneer and structural backup, hot dip galvanized to ASTM A153/A153M, Class B.
1. Anchor Plates: Not less than 0.757 inch thick, designed for fastening to structural backup and provide a positive connection with the veneer design with legs that penetrate sheathing and insulation to provide positive anchorage.
2. Wire ties: Manufacturer's standard shape, 0.1675 inch thick.
3. Seismic Clips: Provide clip at tabs or ties designed to secure insulation against outer face of masonry wythe.
4. Seismic Feature: Provide lip, hook, or clip on end of wire ties to engage or enclose not less than one continuous horizontal joint reinforcement wire of 1.483 inch diameter.

2.05 FLASHINGS

- Metal Flashing Materials: stainless steel, as specified in section 6.00.

2.06 ACCESSORIES

- Preformed Control Joints: Rubber material. Provide with corner and tee accessories, fused.
- Joint Filler: Closed cell polyvinyl chloride, oversized 50 percent to joint width; self expanding; in maximum lengths available.
- C. Cavity Mortar Control: Semi-rigid polyethylene or polyester mesh panels, sized to thickness of wall cavity, and designed to prevent:
 1. Mortar droppings from clogging weeps and cavity vents and allow proper cavity drainage.
 2. Mortar Diverter: Semi-rigid mesh designed for installation at flashing locations.
- D. Weeps:
 1. Type: Polyester mesh.
 - Color(s): As selected by Architect from manufacturer's full range.
 2. Construction: Non-alkali, not harmful to masonry work or adjacent materials.
- E. Cavity Sealant: Non-alkali, not harmful to masonry work or adjacent materials.
- F. Colorant: Non-alkali, not harmful to masonry work or adjacent materials.

2.07 MORTAR MIXING

- Mortar for Unit Masonry: ASTM C270, using the Proportion Specification.
 1. Masonry below grade and in contact with earth: Type 3.
 2. Exterior, loadbearing masonry: Type N.
 3. Interior, loadbearing masonry: Type N.
 4. Interior, loadbearing masonry: Type O.
 5. Interior, non-loadbearing masonry: Type O.
- Colored Mortar: Proportion selected pigments and other ingredients to match Architect's color sample, with proportions to be determined by Architect's recommended pigment-to-cement ratio.
- Admixtures: Add to mixture at manufacturer's recommended rate and in accordance with manufacturer's instructions; mix uniformly.
- Mixing: Use mechanical batch mixer and comply with referenced standard

PART 3 EXECUTION

3.01 EXAMINATION

- Verify that field conditions are acceptable and are ready to receive masonry.
- Verify that related items provided under other sections are properly sized and located.
- Verify that built-in items are in proper location and ready for roughing into masonry work.

3.02 PREPARATION

- Direct and coordinate placement of metal anchors supplied for installation under other sections.
- Provide temporary bracing during installation of masonry work. Maintain in place until building structure provides permanent bracing.

3.03 COLOR AND NOT WEATHER REQUIREMENTS

- Comply with requirements of TMS 402/602 applicable building code, whichever is more stringent.

3.04 COURSING

- Establish lines levels, and coursing indicated. Protect from displacement.
- Maintain masonry courses to uniform dimension. Form vertical and horizontal joints of uniform thickness.
- Concrete Masonry Units:
 1. Bond: Running.
 2. Coursing: One unit and one mortar joint to equal 8 inches.
 3. Mortar Joints: Concave.
- Brick Units:
 1. Bond: Running.
 2. Coursing: Three units and three mortar joints to equal 8 inches.
 3. Mortar Joints: Concave.

3.05 PLACEMENT AND BONDING

- Layer solid masonry units in full bed of mortar, with full head joints, uniformly jointed with other work.
- Lay hollow masonry units with face shell bedding on head and bed joints.
- Buttress courses of joints or excessive furrowing of mortar joints is not permitted.
- Remove excess mortar and mortar smear as work progresses.
- Remove excess mortar with water repellent admixture promptly. Do not use acids, sandblasting or high pressure cleaning methods.
- Interlock intersections and external corners, except for units laid in stack bond.
- Do not shift or align masonry units after mortar has achieved initial set. Where adjustment must be made, remove mortar and replace.
- Permit slight cutting of masonry units with proper tools to provide straight, clean, unchipped edges. Protect broken masonry unit corners or edges.
- Cut mortar joints flush where tile is scheduled or resilient base is scheduled.
- Isolate masonry partitions from vertical structural framing members with a control joint as indicated.
- Isolate top joint of masonry partitions from horizontal structural framing members and slabs or decks with a control joint.

3.06 WEBS-GAUCY JUNTS

- Install webs at vertical and cavity walls at 32 inches on center horizontally or top of through-wall flashing above shell angles and tapers and at bottom of walls.
- 3.07 CAVITY MORTAR CONTROL

- Do not permit mortar to drop or accumulate into cavity air space or to plug weep/cavity vents.
- For cavity walls, build inner wythe ahead of outer wythe to accommodate accessories.
- Install cavity mortar diverter at base of cavity and at other flashing locations as recommended by manufacturer to prevent mortar droppings from blocking weep/cavity vents.

3.08 REINFORCEMENT AND ANCHORAGE - GENERAL, SINGLE WYTHE MASONRY, AND CAVITY WALL MASONRY

- Unless otherwise indicated on drawings or specified under specific wall type, install horizontal joint reinforcement in first and second horizontal joints above and below corners. Extend minimum 16 inches each side of corner.
- Place continuous joint reinforcement in first and second joint below top of wall.
- Place continuous horizontal wire of joint reinforcement in mortar joint with at least 5/8 inch mortar cover on each side.
- End of reinforcement ends minimum 6 inches.
- Fasten reinforcement to structural framing and embed in masonry joints as masonry is laid. Unless otherwise indicated on drawings or closer spacing is indicated under specific wall type, space anchors at maximum of 36 inches horizontally and 24 inches vertically.

3.09 REINFORCEMENT AND ANCHORAGE - MASONRY

- Masonry Anchors: Embed and bond to back wall at maximum 16 inches or center vertically and 36 inches in each side of corner. Place additional anchors at perimeter of openings and ends of panels so maximum spacing of anchors is 8 inches on center.
- Seismic Reinforcement: Connect veneer anchors with continuous horizontal wire reinforcement before installing veneer anchors in masonry.

3.10 MASONRY FLASHINGS

- Whether or not specifically indicated, install masonry flashing to divert water off exterior at all locations where downward flow of water will be interrupted.
- External flashings full width at such interruptions and at least 6 inches, minimum, into adjacent masonry. Provide masonry flashing ends at least 1 inch, minimum, to form watertight pan at nonmasonry construction.
- Remove or cover protrusions or sharp edges that could puncture flashings.
- Seal laps and ends and penetrations of flashings before covering with mortar.

3.11 LINTELS

- Install loose steel lintels over openings.

3.12 CONTROL AND EXPANSION JOINTS

- Do not continue horizontal joint reinforcement through control or expansion joints.
- Install preformed control joint device in continuous lengths. Seal butt and corner joints in accordance with manufacturer's instructions.
- Size control joints as indicated on drawings. If not indicated, 3/4 inch wide and deep.

3.13 TOLERANCES

- Masonry within the site tolerances found in TMS 402/602.
- Maximum Variation: Alignment of Columns: 1/4 inch.
- Maximum Variation: From Unit to Adjacent Unit: 1/16 inch.
- Maximum Variation: From Plane of Wall: 1/4 inch in 10 ft and 1/2 inch in 20 ft or more.
- Maximum Variation: From Plumb: 1/4 inch per story non-cumulative; 1/2 inch in 2 stories or more.
- Maximum Variation: From Level: Coursing: 1/8 inch in 3 ft and 1/4 inch in 10 ft; 1/2 inch in 20 ft or more.
- Maximum Variation: From Mortar Joint Thickness: Head joint, minus 1/4 inch, plus 3/8 inch.
- Maximum Variation: From Cross Sectional Thickness of Walls: 1/4 inch.

3.14 CUTTING AND FITTING

- Cut and fit for pipes, pipes, conduit, sleeves and grouts. Coordinate with other sections of wall cavity, and designed to prevent:
 1. Mortar droppings.
 2. Obtain approval prior to cutting or fitting masonry work not indicated or when appearance or strength of masonry work may be impaired.

3.15 3CLEANING

- Remove excess mortar and mortar droppings.
- Replace defective mortar. Match adjacent work.
- Clean exposed surfaces with cleaning solution.
- Use non-metallic tools in cleaning operations.

3.16 PROTECTION

- Without damaging completed work, provide protective boards at exposed external corners that are subject to damage by construction activities

END OF SECTION

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

SECTION 071300

SHEET WATERPROOFING

PART 1 GENERAL

1.01 SECTION INCLUDES

- Self-adhered modified bituminous sheet membrane.

1.02 REFERENCE STANDARDS

- NRCA (WM) - The NRCA Waterproofing Manual; 2021.

PART 2 PRODUCTS

2.01 SHEET WATERPROOFING APPLICATIONS

- Self-Adhered Modified Bituminous Sheet Membrane:
 1. Location: All below-grade masonry.
 2. Cover with protection board.

2.02 SHEET WATERPROOFING MATERIALS

- Self-Adhered Modified Bituminous Sheet Membrane:
 1. Thickness: 60 mils, minimum.
 2. Sheet Width: 36 inches, minimum.
 3. Adhesive: Sealants, Tapes, and Accessories: As recommended by membrane manufacturer.

2.03 ACCESSORIES

- Drainage Panel: Drainage layer with geotextile/filter fabric on earth side.
 1. Composition: Dimpled polystyrene, polyethylene, or polypropylene filter fabric.
 2. Thickness: 1/2 inch.
- Termination Bar: Aluminum, compatible with membranes and adhesives.

PART 3 EXECUTION

- Examine substrates/surfaces are durable, free of matter detrimental to adhesion or application of waterproofing system.

3.01 EXAMINATION

- Verify substrates/surfaces are durable, free of matter detrimental to adhesion or application of waterproofing system.

3.02 INSTALLATION - DRAINAGE PANEL

- Install membranes waterproofing in accordance with manufacturer's instructions and NRCA (WM) applicable requirements.
- Roll out membrane, and minimize wrinkles and bubbles.
- Overlap edges and ends, minimum 3 inches, seal permanently waterproof by method recommended by manufacturer, and apply seam bead of sealant to joint edge.
- Reinforce drainage panel with multiple thickness of membrane material over joints, whether joints are static or dynamic.
- Weather laps on sloped substrate in direction of drainage, and seal joints and seams.
- Flexible Flashings: Seal items watertight that penetrate through waterproofing membrane with flexible flashing.
- Seal membrane joints to adjoining surfaces:
 1. Use termination bar along edges.
 2. Install counterflashing over exposed edges.

3.03 INSTALLATION - DRAINAGE PANEL

- Place drainage panel directly against membrane, butt joints, place to encourage drainage downward; scribe and cut boards around projections, penetrations, and interruptions.
- 3.04 PROTECTION

END OF SECTION

SECTION 07 2100

THERMAL INSULATION

PART 1 GENERAL

1.01 SECTION INCLUDES

- Door insulator and integral vapor retarder at cavity wall construction and exterior wall behind masonry wall first.

PART 2 PRODUCTS

2.01 FOAM BOARD INSULATION MATERIALS

- Extruded Polystyrene (EPS) Board: Insulation Comply with ASTM C576.
 1. Flame Spread Index (FSI): Class A - 0 to 25, when tested in accordance with ASTM E84.
 2. Smoke Developed Index (SDI): 450 or less, when tested in accordance with ASTM E84.

2.02 ACCESSORIES

- Adhesive: Type recommended by insulation manufacturer for application.

PART 3 EXECUTION

- A. Verify that substrate, adjacent materials, and insulation materials are dry and that substrates are ready to receive insulation.

3.02 BOARD INSTALLATION AT CAVITY WALLS

- Secure impale fasteners to substrate at following frequency:
 1. Six (6) per insulation board.
- Install boards flush between wall and board.
- Install boards vertically on wall:
 1. Butt edges.
 2. Install in running bond pattern.
 3. Butt edges and ends tightly to adjacent boards and protrusions.
 4. Use impale fastener locking discs.
- Cut and fit insulation tightly to protrusions or interruptions to the insulation plane.

3.03 PROTECTION

- Do not permit installed insulation to be damaged prior to its concealment.

END OF SECTION

SECTION 07 2700

AIR BARRIERS

ISSUED FOR BID - 11/14/2025


CRANSTON



JONES STREET ROADWAY
AND
ALLEY IMPROVEMENTS
ARCHITECTURAL GENERAL
SPECIFICATIONS

DRAWN BY: LOGAN TRUITT

CHECKED BY: NICHOLAS DICKINSON

APPROVED BY: NICHOLAS DICKINSON

DATE: 11/14/25

SCALE:

JOB No. 23077

DRAWING No. A102

PART 1 GENERAL
1.01 SECTION INCLUDES
A. Air Barriers
PART 2 PRODUCTS
2.01 AIR BARRIER MATERIALS (AIR IMPERMEABLE AND WATER VAPOR PERMEABLE)
A. Air Barrier: Fluid Applied: Vapor semi-permeable, elastomeric waterproofing.
B. Membrane: Water-based
C. Air Permeance: 0.004 cfm/sq ft, maximum, when tested in accordance with ASTM E2178.
D. Water Vapor Permeance: 11 perms, minimum, when tested in accordance with ASTM E96/E95M using Procedure B – Water Method, at 73.4 degrees F.
E. Ultraviolet (UV) and Weathering Resistance: Approved by manufacturer for up to 90% of expected service life.
F. Elongation: 300 percent, minimum, when tested in accordance with ASTM D412.
G. Surface Burning Characteristics: Flame spread index of 25 or less, smoke developed index of 45 or less, Class A when tested in accordance with ASTM E84.
H. Nail Sealability: Pass, when tested in accordance with ASTM D1970/D1970M.
I. VOC Content: Zero.
J. Sealants, Tapes and Accessories: As recommended by coating manufacturer.
K. Manufacturer: Tremco Commercial Sealants & Waterproofing; ExoCoat 230: www.tremcossealants.com/#/81

2.02 ACCESSORIES
A. Sealants, Tapes, and Accessories for Sealing Air Barrier and Adhesive Substrates: As indicated or in compliance with air barrier manufacturer's installation instructions.
B. Sealant for Cracks and Joints In Substrates: Resilient elastomeric joint sealant compatible with substrate and air barrier material
C. Color: Green
D. Elongation: 1,300 percent, measured in accordance with ASTM D412.

PART 3 EXECUTION
3.01 EXAMINATION
A. Verify that surfaces and conditions are ready for work of this section.
B. Where existing conditions are responsibility of another installer, notify Architect of unsatisfactory conditions.
C. Do not proceed with this work until unsatisfactory conditions have been corrected.

3.02 INSTALLATION
A. Install materials in accordance with manufacturer's installation instructions.
B. Air Barriers: Install continuous air tight barrier over surfaces indicated, with sealed seams and verify that joints are tight.
C. Apply sealants and adhesives within recommended temperature range in accordance with manufacturer's installation instructions.
D. Fluid-Applied Coatings or Membranes:
1. Prepare substrate in accordance with manufacturer's installation instructions; treat joints in accordance with manufacturer's recommended materials as indicated.
2. Where exterior masonry veneer is being installed, install masonry anchors before installing air barrier over masonry; provide tight seal around anchors.
3. Apply bead of sealant or tape of 1/4 inch width with a 1/4 inch overlap, 1/4 inch along coating seams, rough cuts, and as recommended by manufacturer.
4. Use flashing to seal to adjacent construction and to bridge joints in coating substrate.
E. Openings and Penetrations: Exterior Air Barrier:
1. Seal all exterior openings, covering entire frame member, extending at least 5 inches onto air barrier and at least 6 inches up jamb, mechanically fasten stretched edges.
2. At openings with frames having rabbeted flanges, seal head and jamb flanges using a continuous bead of sealant applied by flange and cover flanges with sealing tape at least 4 inches wide, do not seal sill flange.
3. At openings with nonframed frames, seal air barrier to each side of framing at opening using flashing at least 6 inches wide and covering entire depth of framing.
4. At rough openings, install air barrier extending under air barrier extending at least 2 inches beyond face of jamb; seal air barrier to flashing.
5. At rough face of openings, seal gap between window/frame and rough framing, using joint sealant over backer rod.
F. Service and Other Penetrations: Form flashing around penetrating item and seal to air barrier surface.

3.03 PROTECTION
A. Do not leave materials exposed to weather longer than recommended by manufacturer.
END OF SECTION

SECTION 07 6200
HEET METAL FLASHING & TRIM

1.01 PART 1 GENERAL
1.02 SECTION INCLUDES
A. Fabricated sheet metal items, including flashings and counter flashings.
B. Sealants for joints within sheet metal fabrications.

1.03 DELIVERY, STORAGE, AND HANDLING
A. Stack material to prevent twisting, bending, and abrasion, and to provide ventilation. Slope metal sheets to ensure drainage.
B. Handle material with materials that could cause discoloration or staining.

PART 2 PRODUCTS
2.01 SHEET MATERIALS
A. Pre-Finished Aluminum: ASTM B209/B209M; 18 gauge, 0.040-inch thick; plain finish shop coated with silicone modified polyester coating.
B. Polyvinylidene Fluoride (PVDF) Coating: Superior performing organic powder coating, applied in two coats with two-coat system including primer and color coat with at least 70 percent PVDF coating.
C. Color: As selected by Architect from manufacturer's standard colors.
D. Lead Sheet: ASTM B749, 0.047-inch minimum thickness, UNS Number L5121.
E. Stainless Steel: ASTM A666/A666M, Type 304 alloy, soft temper, 28 gauge, 0.0156 inch thick; brushed finish.

2.02 FABRICATION
A. Form sections true to shape, accurate in size, square, and free from distortion or defects.
B. Form pieces in longest possible lengths.
C. Item exposed edges on underside 1/2 inch, mitre and seam corners.
D. Form material with flat tools, sanding, and when otherwise indicated, at moving joints, use sealants, sealants or pre-coating hooked seams.
E. Fabricate corners from one piece with minimum 18-inch long legs; seam for rigidity; seal with sealant.
F. Fabricate vertical faces with bottom edge formed outward 1/4 inch and hemmed to form drip.

2.03 ACCESSORIES
A. Fasteners: Galvanized steel, wih soft neoprene washers.
B. Primer: Zinc chromate.
C. Hot Dipped Galvanized Zinc molybdate alloy.
D. Concealed Sealants: Non-curing body sealant.
E. Exposed Sealants: ASTM C922, elastomeric sealant, with minimum movement capability as recommended by manufacturer for substrates to be sealed; color to match adjacent material.
F. Asphalt Roof Cement: ASTM D1458/D1458M, Type I, asbestos-free.
G. Reglets: Surface-mounted type, galvanized steel; face and ends covered with plastic tape.

PART 3 EXECUTION
3.01 INSTALLATION
A. Seal flashings in place using concealed fasteners, and use exposed fasteners only where permitted.
B. Apply plastic cement compound between metal flashings and tilt flashings.
C. Fit flashings tight in place; make corners square, surfaces true and straight in planes, and lines accurate to profile.

DIVISION 69 – FINISHES
SECTION 69 9113
EXTERIOR PAINTING

PART 1 GENERAL
1.01 SECTION INCLUDES
A. Surface preparation.
B. Field application of paints.
C. Scope: Finish exterior surfaces exposed b view, unless fully factory-finished and unless otherwise indicated, including:
1. Exposed surfaces of steel ledges and ledges.
D. Do Not Paint or Finish the Following Items:
1. Items factory-finished unless otherwise indicated; materials and products having factory-applied primers are not considered factory finished.
2. Items that are not intended for painting.
3. Items indicated to remain unfinished.
4. Fire rating labels, equipment serial number and capacity labels, and operating parts of equipment.
5. Floors, unless specifically indicated.
6. Exterior insulation and finish system (EIFS).
7. Glass.
8. Enclosed pipes, ducts, and conduits.

PART 2 PRODUCTS
2.01 MANUFACTURERS
A. Provide paints and finishes used in any individual system from the same manufacturer, no exception.

2.02 PAINTS AND FINISHES - GENERAL
A. Paints and finishes, unless required to be a field-catalyzed paint:
1. Provide paints and finishes of a soft paste consistency, capable of being readily and uniformly dispersed to a homogeneous coating, with good flow and brushing properties, and capable of being applied by brush or roller.
2. Provide materials that are compatible with one another and the substrates indicated under conditions of service and application as demonstrated by manufacturer based on testing and field experience.
3. For opaque finishes, tint each coat including primer coat and intermediate coats, one-half shade lighter than succeeding coat, with final finish coat as base color.
4. Supply all materials in quantity required to complete entire project's work from a single production run.
5. Do not reduce thin, or dilute paint or finishes or add materials unless such procedure is recommended by manufacturer's product instructions.
B. Volatile Organic Compounds (VOC) Coatings:
1. Provide paints and finishes that comply with the most stringent requirements specified in the following:
a. 40 CFR 63 Subpart D-National Volatile Organic Compound Emission Standards for Architectural Coatings.
b. Architectural coatings VOC limits of the State in which the Project is located.
2. Determination of VOC Content: Testing and calculating in accordance with 40 CFR 63, Subpart D, Appendix 24, except as otherwise indicated by a manufacturer and water added at project site, or other method acceptable to authorities having jurisdiction.
C. Sheens: Provide the sheen specified; where sheen is not specified, sheen will be selected in accordance with manufacturer's full line.
D. Colors: As specified.

2.03 PAINT SYSTEMS - EXTERIOR
A. Ferrous Metal: Primed. Exterior acrylic polyurethane, 2-coat:
1. Touch-up with rust-inhibitive primer recommended by top coat manufacturer.
2. Semigloss: Two coats of Sherwin Williams Acronol 218 HS Parts A & B.
3. Satin: As above, but can be painted. Exterior doors and frames, primed linteles.

PART 3 EXECUTION
4.01 EXAMINATION
A. Do not begin application of paints and finishes until substrates have been properly prepared.
B. Verify that surfaces are ready to receive work as instructed by the product manufacturer.
C. Examine surfaces scheduled to be finished prior to commencement of work. Report any condition that may potentially effect proper application.
D. Test shop-coated primer for compatibility with subsequent cover materials.

4.02 PREPARATION
A. Clean surfaces thoroughly and correct defects prior to application.
B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
C. Remove or mask surface appearances, including electrical plates, hardware, light fixture trim, trim, and other items that may affect the finish.
D. Seal surfaces that might cause bleed-through or staining of lippage.
E. Remove residue from impervious surfaces by scrubbing with a solution of tetra-sodium phosphate and bleach. Rinse with clean water and allow surface to dry.
F. Ferrous Metal:
1. Solvent clean according to SSPC-SP 1.
2. Bright-dipped Surfaces: Sand and strip to remove loose primer and rust. Feather edges to make touch-up patches inconspicuous. Clean surfaces with solvent. Prime bare steel surfaces. Re-prime entire shop-prime item.
G. Remove rust, scale, mill scale, and other brittle substances using methods recommended in cleaning by joint handling and blast cleaning according to SSPC-SP 6 "Commercial Blast Cleaning." Protect from corrosion until coated.

4.03 APPLICATION
A. Apply products in accordance with manufacturer's written instructions and recommendations in the Architectural Painting Specification Manual.
B. Do not apply finishes to surfaces that are not dry. Allow applied coats to dry before next coat is applied.
C. Apply each coat to uniform appearance.
D. Dark Colors and Clear Clear Colors: Regardless of number of coats specified, apply additional coats until complete hide is achieved.
E. Verify removal of loose particles. Use tack cloth to remove dust/dust particles just prior to applying next coat.
F. Reinstall electrical cover plates, hardware, light fixture trim, escutcheons and fittings removed prior to finishing.

ENC OF SECTION

DRAWN BY:

CHECKED BY:

APPROVED BY:

DATE:

SCALE:

JOB No.:

DRAWING No.:

A102

GENERAL DEMOLITION NOTES:

1. GC TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GC TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS.
2. GC TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION.
3. EXISTING CONDITIONS & DEMOLITION NOTES BASED ON FIELD SURVEY. IF GC DISCOVERS EXISTING CONDITIONS VARY FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
4. GC TO PROVIDE TEMPORARY PROTECTION FOR ALL OPENINGS IN EXTERIOR WALLS. PROTECTION SHALL CONSIST OF CM. PLASTIC.
5. COORDINATE EQUIPMENT WITH ELECTRICAL, MECHANICAL, PLUMBING, & STRUCTURAL DRAWINGS.
6. ALL DEMOLITION WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE 2016 EDITION OF NFPA 24, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, & DEMOLITION OPERATIONS.

DEMOLITION NOTES:

- A. REMOVE DOOR & FRAME IN THEIR ENTIRETY
- B. REMOVE SECTION OF BUILDING IN ITS ENTIRETY, INCLUSIVE OF FOOTING, ASSOCIATED WOOD SHORING SECOND FLOOR AND ROOF FRAMING. SALVAGE BRICK TO INFILL/REPAIR CUT ENDS
- C. REMOVE WINDOW & FRAME IN THEIR ENTIRETY
- D. REMOVE CONC SLAB ON GRADE
- E. REMOVE PORTION OF WALL FOR NEW OPENING
- F. REMOVE CUT BRICK IN A SAWTOOTH PATTERN

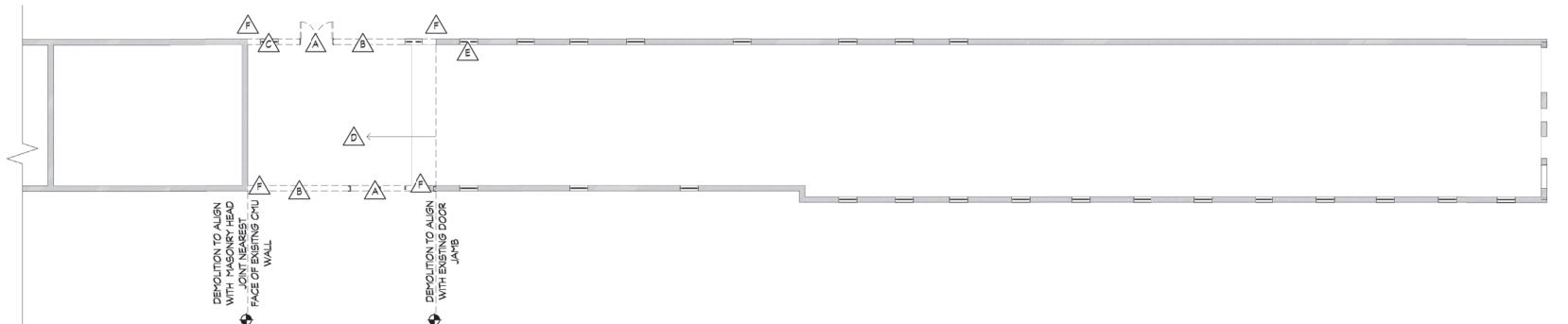
DEMOLITION WALL LEGEND:

----- EXISTING TO BE REMOVED
----- EXISTING TO REMAIN

EXTERIOR FINISH KEY

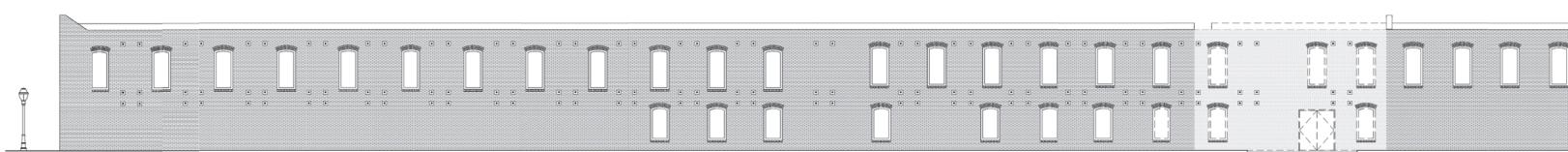


EXISTING MASONRY



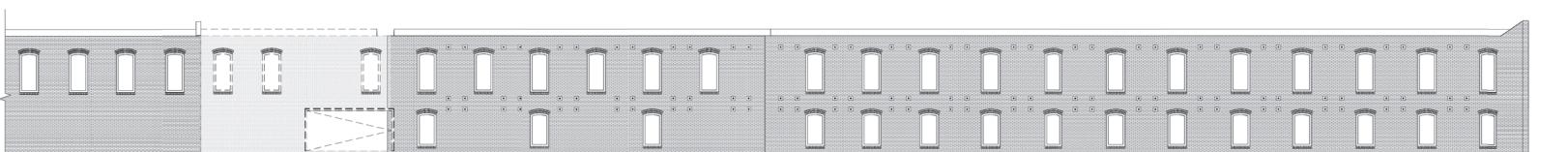
1 DEMOLITION PLAN
SCALE: 1" = 10'-0"

DEMOLITION TO ALIGN
WITH MASONRY HEAD
JOINT NEAREST
FACE OF EXISTING CHU
WALL



2 WES' ELEVATION - DEMOLITION
SCALE: 1' = 10'-0"

DEMOLITION



3 EAST ELEVATION - DEMOLITION

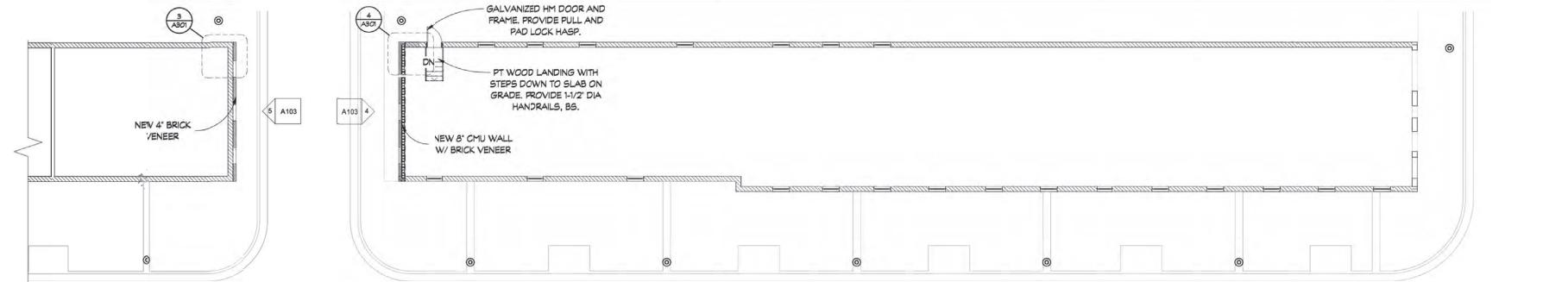
DEMOLITION



ISSUED EO&B BID - 11/11/2025

ONES STREET ROADWAY
AND
VALLEY IMPROVEMENTS
DEMOLITION PLANS &
ELEVATIONS

DRAWN BY:	LOGAN TRUITT
HECKED BY:	NICHOLAS DICKINSON
APPROVED BY:	NICHOLAS DICKINSON
DATE:	11/14/2025
SCALE:	As indicated
DB No.	23077
DRAWING No.	D101



CRANSTON



REV. #	DATE
DESCRIPTION	

JONES STREET ROADWAY
AND
ALLEY IMPROVEMENTS
NEW WORK PLAN & ELEVATIONS

DRAWN BY: LOGAN TRUITT
CHECKED BY: NICHOLAS DICKINSON
APPROVED BY: NICHOLAS DICKINSON
DATE: 11/14/2025
SCALE: As Indicated
JOB No. 23077
DRAWING No. A103

WALL LEGEND:

CMU WALL
BRCK WALL



EXTERIOR FINISH KEY:

EXISTING MASONRY



0 1' 2' 4' 6' 16'

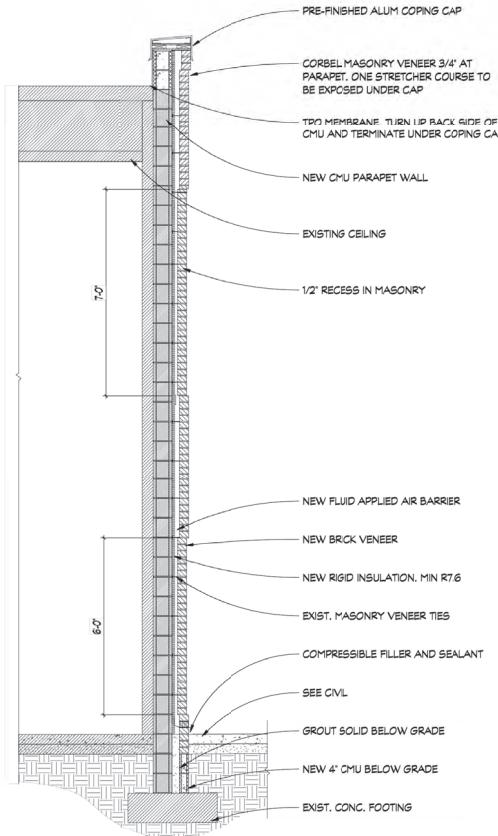
SCALE: 1/4" = 1'-0"

0 5' 10' 20' 40'

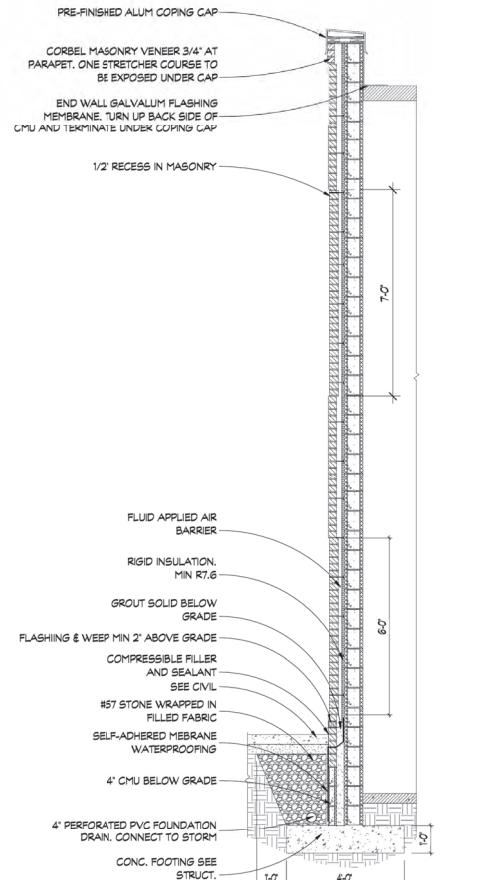
SCALE: 1' = 10'



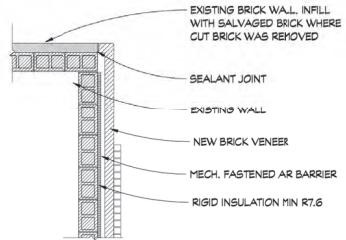
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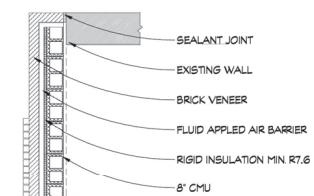
1 WALL SECTION - NEW BRICK VENEER
A103 SCALE: 1/2" = 1'-0"



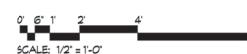
2 WALL SECTION - NEW CMU WALL
A103 SCALE: 1/2" = 1'-0"



3 CORNER DETAIL
A103 SCALE: 1/2" = 1'-0"



4 CORNER DETAIL
A103 SCALE: 1/2" = 1'-0"



ISSUED FOR BID - 11/14/2025

JONES STREET ROADWAY
AND
ALLEY IMPROVEMENTS

WALL SECTIONS & DETAILS

DRAWN BY: LOGAN TRUITT
CHECKED BY: NICHOLAS DICKINSON
APPROVED BY: NICHOLAS DICKINSON
DATE: 11/14/2025
SCALE: 1/2" = 1'-0"
JOB No.: 23077
DRAWING No.: A301

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JONES STREET ROADWAY AND
ALLEY IMPROVEMENTS

LEGEND, NOTES AND DETAILS

DRAWN BY: MJ
CHECKED BY: TB
APPROVED BY: TB
DATE: 11/14/2025
SCALE: AS SHOWN
JOB No: 2024-0328
DRAWING No: edc1973.com

E100

LEGEND

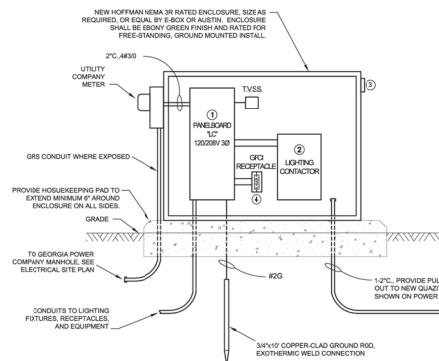
LIGHTING AND POWER
CONDUIT RUN CONCEALED UNDERGROUND.
JOURNEYS TO PANELBOARD, LETTER OR LETTERS INDICATE PANELBOARDS, NUMBERS INDICATE CIRCUIT NUMBERS.
EXTERIOR FIXTURE
TWO GANG EXTERIOR, WEATHERPROOF, OUTDOOR GROUND BOX. REFER TO POWER PLAN.
TAMPER RESISTANT DUPLEX CONVENIENCE OUTLET, GFI TYPE.

GENERAL NOTES:

- ALL GROUND WIRES SHALL BE GREEN FOR THE ENTIRE LENGTH, NO TAPE.
- PRIOR TO TRENCHING, LOCATE AND MARK ALL EXISTING UNDERGROUND UTILITIES.
- ALL CONDUIT MUST LAY FLAT IN TRENCH.
- CONSULT CIVIL AND LANDSCAPE DRAWINGS FOR LAYOUT OF ALL POLES, PLANTERS AND LOCATION OF UTILITIES.
- POTENTIAL CONTRACTORS SHALL VISIT THE PROJECT SITE PRIOR TO BID DATE TO SATISFY THEMSELVES AS TO THE EXISTING CONDITIONS AND DISTANCES.
- ALL POWER WIRES SHALL BE CONDUIT.
- ALL WIRES SHALL BE COPPER WITH TYPE THHN INSULATION.
- PROVIDE WIRE ADAPTERS OR BARREL CONNECTORS TO RECEIVE OVERSEIZE WIRE AT BREAKERS, TRIMMING CONDUCTORS IS NOT ALLOWED.
- LIGHTING STANDARDS MAY BE RELOCATED UP TO 25 FEET BY OWNER PRIOR TO ROUGH-IN AT NO ADDITIONAL COST.
- THE CONTRACTOR WILL FURNISH AND INSTALL ALL POLES, FIXTURES, LAMPS, AND POLE BASES.
- PROVIDE WARNING TAPE OVER ALL CONDUIT LOCATED IN TRENCHES. TAPE SHALL BE LOCATED 1/4" BELOW GRADE AND SHALL BE YELLOW, IF WIDE METALLIC TAPE, READING: WARNING - ELECTRICAL LINES BURIED.

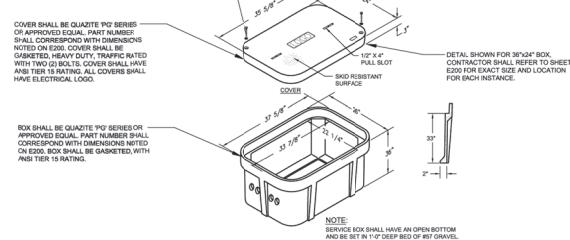
POWER CENTER SCHEDULE

- PANELBOARD: 120/208V, 30, 4W, 200 AMP MAIN BREAKER, SEE PANELBOARD SCHEDULE.
- CONTACTOR: 30 AMP 8 POLE, 120V OPERATING COIL, CONTROLLED BY PHOTOCELL (PC), PROVIDED WITH H.O.A. SWITCH, ON/PHOTOCELL, OFF PHOTOCELL.
- PHOTOCELL: LOCATE TO PREVENT NUISANCE TRIPPING. PHOTOCELL SHALL BE "WISTLOCK" TYPE, COORDINATE WITH CITY UTILITIES.
- GFI RECEPTACLE ON CIRCUIT 8 OF PANEL BOARD "LC" IN POWER CENTER.



POWER CENTER DETAIL

E100 SCALE: NOT TO SCALE



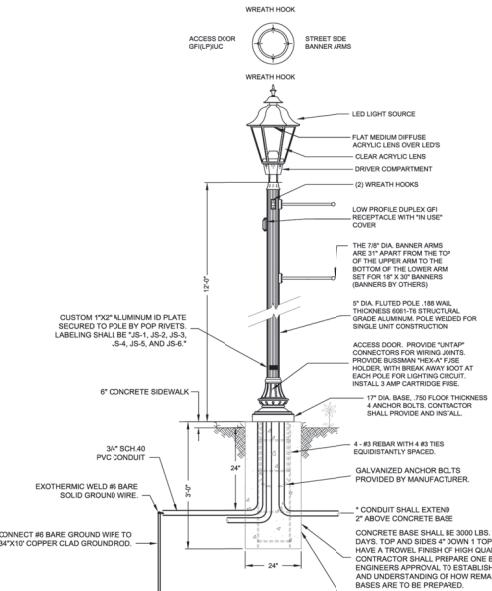
DETAIL - SERVICE BOX

E100 SCALE: NONE

TYPE		DESCRIPTION										MANUFACTURE	
A		L.E.D. POST FIXTURE. FIXTURE SHALL HAVE TYPE FIVE OPTICS, CSA LENS. LUMINAIRE SHALL BE MOUNTED TO 12' FLUTED STERNBERG AUGUSTA SERIES 4212 FPL POLE. POLE AND BASE SHALL BE ONE PIECE ASSEMBLY. FINISH SHALL BE AUGUSTA BANNER ARM, AND ACCESS DOOR. (1) INPUT WATTS										STERNBERG "S130 C LED" HISTORIC SERIES	

SERVING	LOAD(KVA)	PANEL										LC		SERVING						
		LTG	REC	MTR	MECH	KIT	MISC	SLDN	BREAKER	CNT	PHASE	NO	P	AMPS	SLDN	MISC	KIT	MTR	REC	LTD
LIGHTING	0.7							20	1	1.4		2	1	1					0.7	
POLE MOUNTED GFI RECEPT	0.6							20	3	2.4		4	1	20					0.6	
POLE MOUNTED GFI RECEPT	0.9							20	1	0.9		6	1	20					0.9	
GROUND BOX	0.4							A	20	1	0.4		8	1	20					0.2
GROUND BOX	0.4							A	20	11		0.0	12	1	20					
SPARE	0.6							20	13	0.0		14	1	20						
SPARE	0.6							20	15	0.0		16	1	20						
SPACE	1.0							20	17	0.0		18	1	20						
SPACE	1.0							20	19	0.0		20	3	40						
SPACE	1.0							20	21	0.0		22	1	20						
SPACE	1.0							20	23	0.0		24	1	20						
TOTAL KVA	0.7	2.6	0.0	0.0	0.0	0.0	0.0					1.8	2.4	0.6	0.0	0.0	1.8	0.7	TOTAL KVA	
GENERAL PANEL NOTES																				
T	Lighting	1.4	X	120/240	1.76															
T	Receptacles	4.4	NEC 220.44	4.4		1	-													
O	Motors	0.0	NEC 220.19A	0.0		2	-													
T	Mechanical	0.0	X 100%	0.0		3	-													
A	Kitchen	0.0	X 100%	0.0		4	-													
A	Miscellaneous	0.0	X 100%	0.0		5	-													
T	TOTAL KVA	5.8	CODE KVA	4.15		B	-													
B	TOTAL AMPS	16.1	CODE AMPS	11.7		C	-													

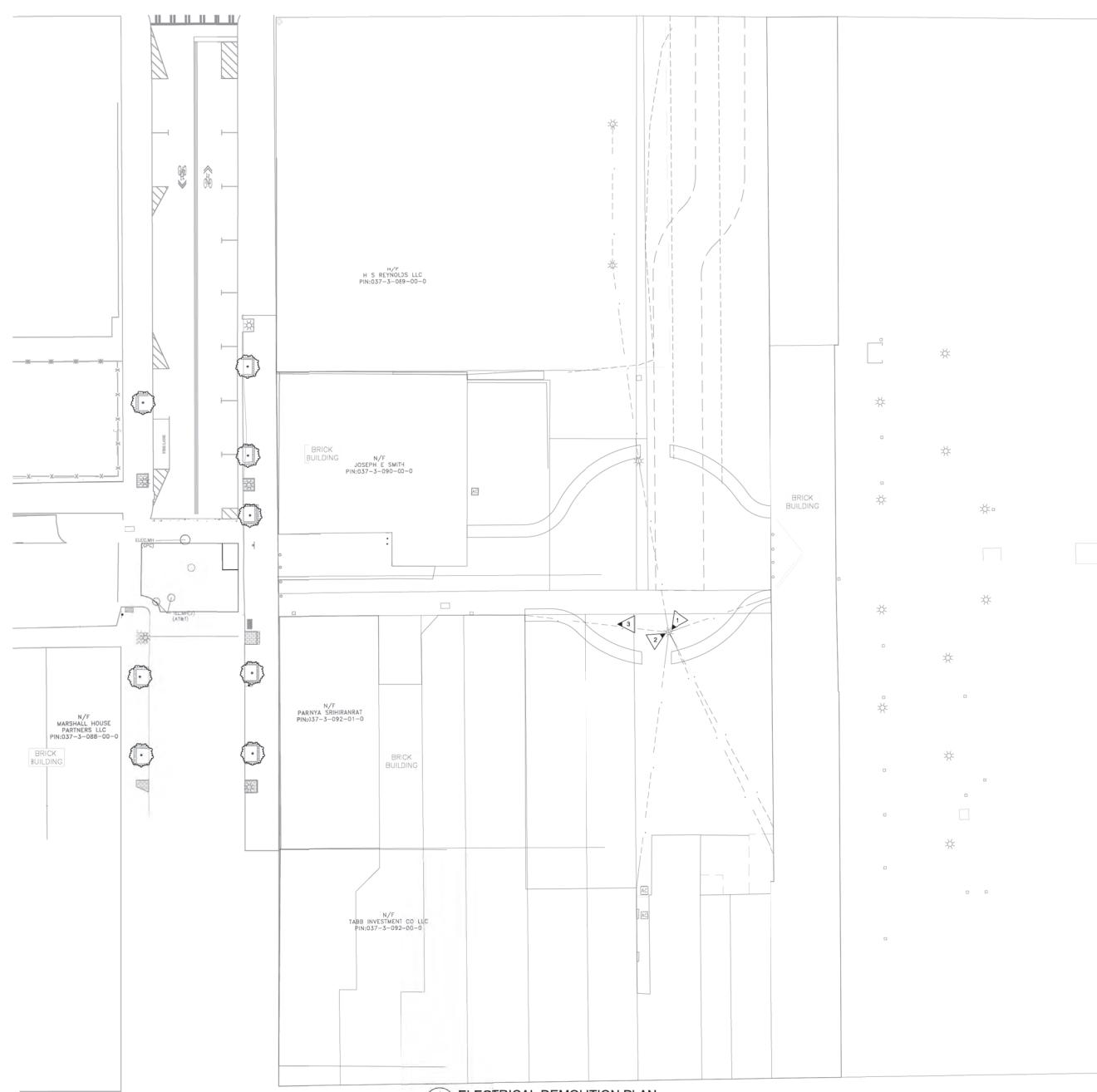
NOTES (REFER TO NOTES COLUMN)



DETAIL - POLE MOUNTED LIGHT, TYPE "A"

E100 SCALE: NONE

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1
E102
ELECTRICAL DEMOLITION PLAN
SCALE: 1"=25'-0"

ISSUED FOR BID - 11/14/2025


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ELECTRICAL DESIGN
CONSULTANTS
ELECTRICAL ENGINEERS
AUGUSTA GA PROJECT # 25098
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JONES STREET ROADWAY AND
ALLEY IMPROVEMENTS

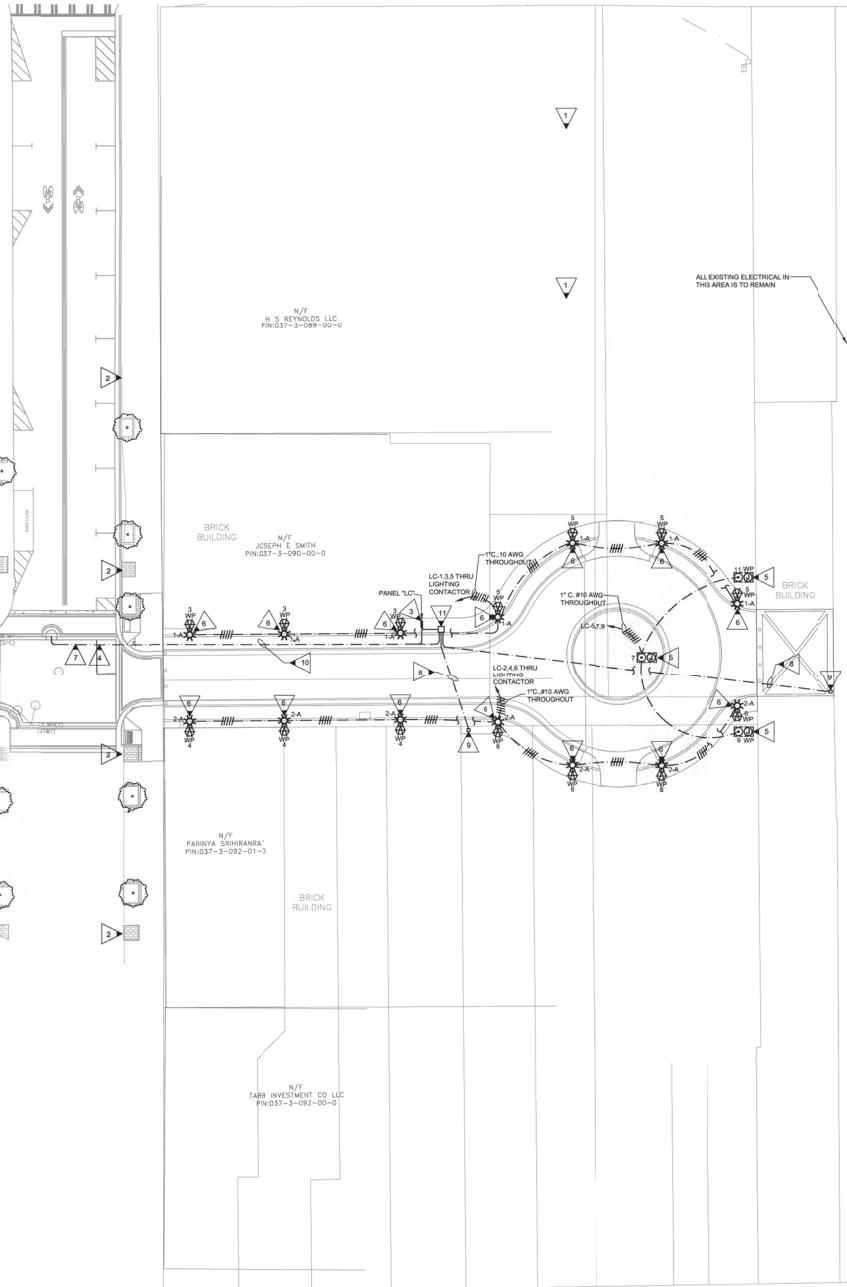
ELECTRICAL DEMOLITION PLAN

DRAWN BY:	MJ
CHECKED BY:	TB
APPROVED BY:	TB
DATE:	11/14/2025
SCALE:	AS SHOWN
JOB No.:	2024-0328
DRAWING No.:	EDC1973-001

E102



CRANSTON



1
E200
ELECTRICAL PLAN
SCALE: 1'=20'-0"

KEYED NOTES:

- EXISTING UTILITY OVERHEAD LIGHT POLE TO REMAIN.
- EXISTING STERNBERG FIXTURE TO REMAIN.
- NEW POWER CENTER IN LOCKABLE HOFFMAN ENCLOSURE. PANEL TO SERVE NEW STREET LIGHTS, AND GENERAL POWER FOR AREA. SEE DETAIL #E100. ENTIRE ENCLOSURE AND HOUSEKEEPING PAD SHALL BE LOCATED WITHIN ESTABLISHED RIGHT-OF-WAY. CONTRACTOR SHALL NOTIFY HOFFMAN ENCLOSURE MANUFACTURER FOR APPROVEMENTS AND EXACT INSTALLATION LOCATION WITH ARCHITECT AND CIVIL PLANS PRIOR TO INSTALLATION.
- POWER FEED FROM EXISTING GEORGIA POWER MANHOLE TO NEW POWER CENTER.
- PROVIDE AND INSTALL LEGRAN OR PREAPPROVED EQUAL EXTERIOR GROUND BOX IN NEMA 6P RATED WIRING ENCLOSURE. PROVIDE ALL COMPONENTS FOR GROUNDING. CONTRACTOR SHALL PROVIDE GROUNDING CONNECTIONS. EXTERIOR GROUND BOX SHALL BE LOCATED WITHIN ESTABLISHED RIGHT-OF-WAY OF NEW WALKWAY. COORDINATE RIGHT-OF-WAY REQUIREMENTS AND EXACT INSTALLATION LOCATION WITH ARCHITECT AND CIVIL PLANS PRIOR TO INSTALLATION.
- NEW LED STERNBERG FIXTURE SEE DETAIL #E100. FIXTURE TO MATCH EXISTING DOWNSTREAM STERNBERG FIXTURE. CONTRACTOR TO EXPOSE CIRCUIT AND CONTROLLED THROUGH LIGHTING CONTACTOR. GROUND CONNECTIONS ON EACH POLE SHALL BE FED FROM CIRCUIT SIDE AND FED THROUGH LIGHTING CONTACTOR.
- GEORGIA POWER COMPANY WILL STAB OUT TWO (2') 2" CONDUITS TO CURB LINE. ELECTRICAL CONTRACTOR TO EXTEND CONDUITS INTO EXISTING GEORGIA POWER MANHOLE. ONE CONDUIT SHALL CONTAIN NEW SERVICE CONDUCTORS FOR PANEL "LC". ANOTHER CONDUIT SHALL TERMINATE IN NEW 2X24" QUATITE BOX FOR FUTURE. REFER TO DETAIL #E100.
- INSTALL 2X24" QUATITE BOX LEVEL WITH GRADE. COORDINATE EXACT LOCATION WITH ARCHITECT AND CIVIL PLANS PRIOR TO INSTALLING. REFER TO DETAIL #E100.

GENERAL NOTES:

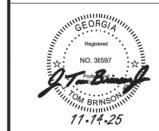
1. DO NOT SCALE DRAWINGS TO LOCATE DEVICES OR LIGHT FIXTURES.
2. HONOR CIRCUITS ARE BROWN ANNOTATED. PROVIDE ALL BRANCH CIRCUIT CONDUITS/CONTACTORS AS NECESSARY TO CONNECT ALL DEVICES SHOWN ON THE CIRCUIT. PROVIDE DEDICATED NEUTRALS FOR ALL CIRCUITS.
3. CONDUIT RUNS ARE SHOWN ON THESE TYPICAL PLANS AS UNDERGROUND ROUGH-IN.
4. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO WORK STARTING.
5. ALL SERVICES SHALL BE INSTALLED WITHIN ESTABLISHED RIGHT-OF-WAY CLEARANCE. COORDINATE EXACT REQUIREMENTS WITH ARCHITECT PRIOR TO WORK COMMENCING.

ISSUED FOR BID - 11/14/2025

JONES STREET ROADWAY AND
ALLEY IMPROVEMENTS

ELECTRICAL PLAN

CRANSTON



DESCRIPTION	REV #	DATE

DRAWN BY: MJ
CHECKED BY: TB
APPROVED BY: TB
DATE: 11/14/2025
SCALE: AS SHOWN
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DRAWING No. edc1973.com
ELECTRICAL DESIGN CONSULTANTS
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E200