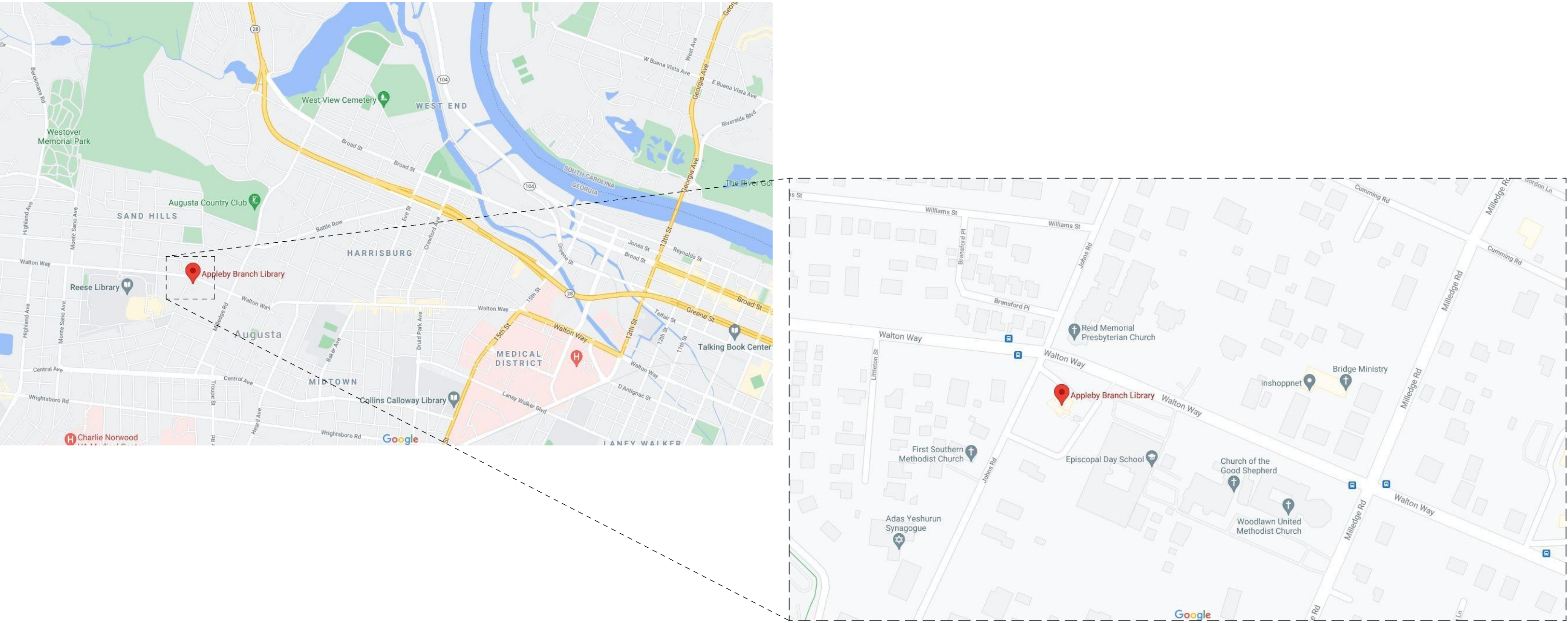


RENOVATIONS AND ADDITION FOR THE AUGUSTA- RICHMOND COUNTY PUBLIC LIBRARY SYSTEM

APPLEBY BRANCH LIBRARY

2260 WALTON WAY
AUGUSTA, GEORGIA, 30904

LOCATION:



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CODE ANALYSIS

PROJECT DESIGNED IN ACCORDANCE WITH:

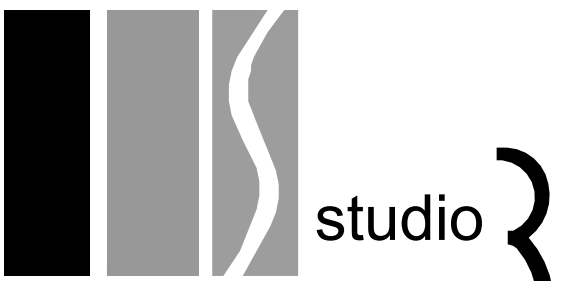
1. INTERNATIONAL BUILDING CODE (IBC)	2018 EDITION W/ GA. DCA AMENDMENTS (CHAPTER 10 DELETED - REFER TO 2018 NFPA 101 LSC)
2. INTERNATIONAL PLUMBING CODE (IPC)	2018 EDITION W/ GA. DCA AMENDMENTS
3. INTERNATIONAL MECHANICAL CODE (IMC)	2018 EDITION W/ GA. DCA AMENDMENTS
4. INTERNATIONAL FUEL GAS CODE (IFGC)	2018 EDITION W/ GA. DCA AMENDMENTS
5. LIFE SAFETY CODE NFPA 101 (LSC)	2018 EDITION W/ GA. DCA AMENDMENTS
6. INTERNATIONAL FIRE CODE (IFC)	2018 EDITION
7. NATIONAL ELECTRICAL CODE (NEC)	2017 EDITION
8. INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	2015 EDITION W/ GA. DCA AMENDMENTS
9. AMERICAN WITH DISABILITIES ACT (ADA)	2010 EDITION
10. GEORGIA ACCESSIBILITY CODE	GA 120-3-20

STRUCTURAL ENGINEER:



SLATER ENGINEERING, INC.
1837 Central Avenue
Augusta, Ga. 30904
(706) 364-9547

03/01/2022



design group
architecture + interior design
1617 Walton Way
Augusta, GA 30904
Telephone: (706) 667-9784
Fax: (706) 667-9786

MECHANICAL / PLUMBING ENGINEER:



PFA ENGINEERING, INC.
1201 Broad Street, Suite 3
Augusta, GA 30901
(706) 722-3959

ELECTRICAL ENGINEER:



ELECTRICAL DESIGN CONSULTANTS
1201 Broad Street, Suite 1-A
Augusta, GA 30901
(706) 724-3551





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OVERALL DEMOLITION PLANS

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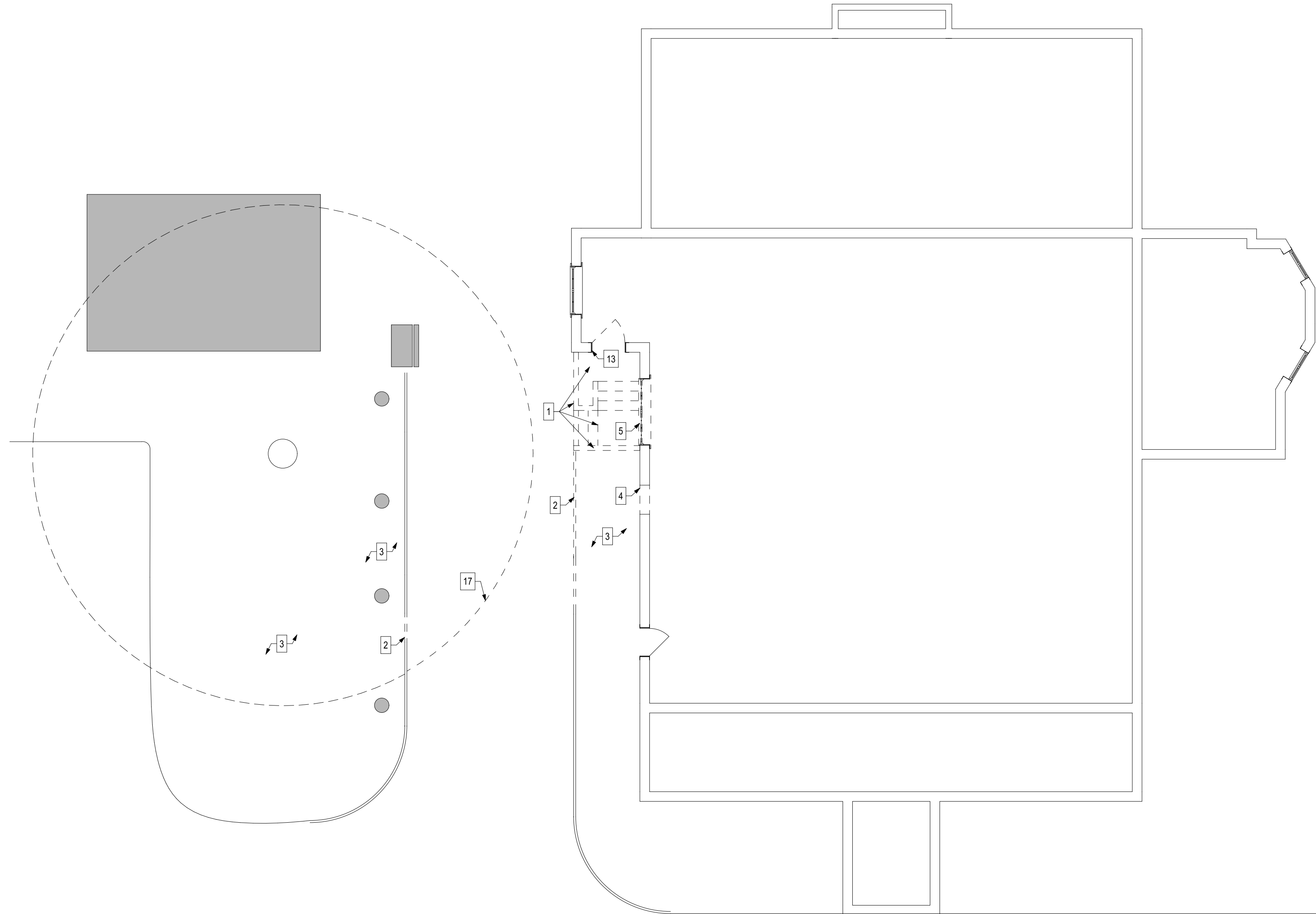
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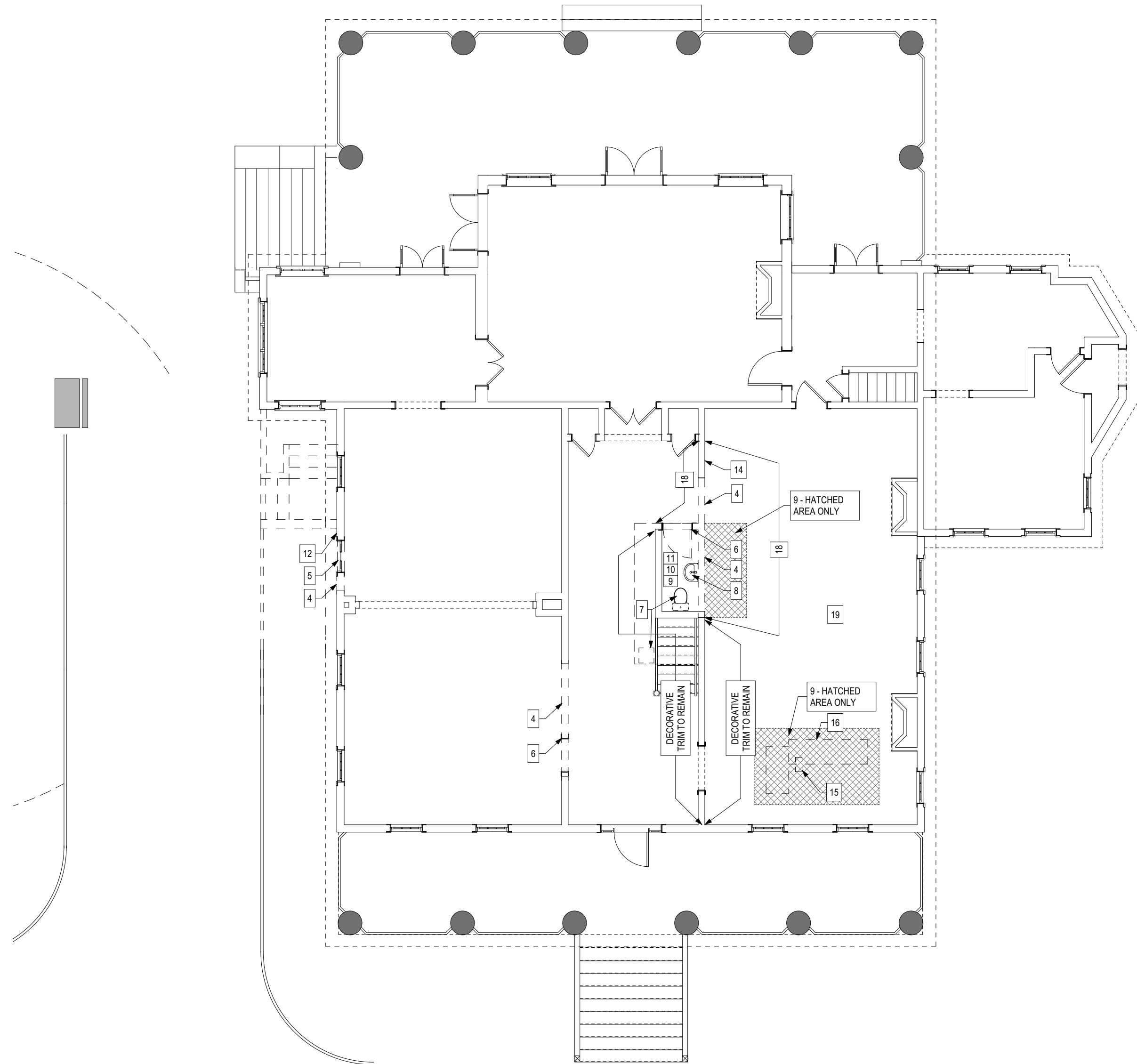
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PLOT DATE: 3/17/2022

D1.1



6 BASEMENT DEMOLITION PLAN
D1.1 SCALE: 1/8" = 1'-0"



8 FIRST FLOOR DEMOLITION PLAN
D1.1 SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- 1 THE SCOPE OF DEMOLITION SHALL INCLUDE, BUT NOT BE LIMITED TO, THE COMPLETE REMOVAL OF WALLS, DOORS, FRAMES, CEILINGS, FLOOR FINISHES, MECHANICAL, ELECTRICAL, PLUMBING AND EQUIPMENT AS INDICATED ON THE DRAWINGS. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR SPECIFIC DEMOLITION LIMITS.
- 2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE BEFOREHAND AND BECOMING FAMILIAR WITH THE EXISTING BUILDING COMPLEX AND SCOPE OF WORK TO BE PERFORMED. THESE DEMOLITION NOTES ARE INTENDED TO SERVE AS A GUIDE FOR DEMOLITION WORK AND INDICATE THE GENERAL INTENT OF THE DEMOLITION WORK TO BE PERFORMED. IT SHALL, HOWEVER, BE THE FULL RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL DEMOLITION WORK REQUIRED TO SECURE THE CONSTRUCTION OF WORK INDICATED ON THESE CONTRACT DOCUMENTS, WHETHER OR NOT SPECIFICALLY MENTIONED AND/OR IDENTIFIED.
- 3 CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION AND RECONNECTION OF ANY ELECTRICAL, PLUMBING, AND/OR SEWER SERVICES WHICH MAY BE PERMANENTLY OR TEMPORARILY INTERRUPTED. CONTRACTOR IS RESPONSIBLE FOR ANY CARPING AND PROPER SEALING OF PLUMBING ITEMS AS MAY BE REQUIRED.
- 4 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS NECESSARY FOR BUILDING OF BARRICADES, BRACING, SHORING, GUARD RAILS, LIGHTS, AND WARNING SIGNS DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
- 5 CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO COMPLETELY PROTECT EXISTING STRUCTURES, UTILITIES, AND ANY OTHER ITEMS TO REMAIN. DAMAGED EXISTING ELEMENTS SHALL BE REPLACED TO LIKE NEW CONDITION.
- 6 ALL DIMENSIONS AND EXACT LOCATIONS OF ITEMS AS SHOWN ON THE DRAWINGS ARE SUBJECT TO VERIFICATION OF EXISTING CONDITIONS. ANY DISCREPANCY AFFECTING THE CONSTRUCTION ACTIVITIES AND INTENT OF WORK TO BE PERFORMED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- 7 ALL EQUIPMENT TO BE REMOVED AND RETAINED BY THE OWNER SHALL BE TAGGED ACCORDINGLY AND SHALL NOT BE THE RESPONSIBILITY OF THE OWNER TO REMOVE. THE CONTRACTOR WILL BE RESPONSIBLE TO NOTIFY THE OWNER IF THE EQUIPMENT IS NOT REMOVED AND PROVIDE PROTECTION UNTIL IT IS REMOVED.
- 8 REMOVE ALL EXISTING ELECTRICAL WIRING, CONDUIT, RECEPTACLES, PANELS, SWITCHES, LIGHTING FIXTURES, CLOCKS, SPEAKERS, BELLS, AND OTHER ELECTRICAL ITEMS EXPOSED WHERE DEMOLITION WORK OCCURS. CONDUIT IN EXISTING WALLS TO REMAIN MAY BE ABANDONED, BUT ALL DEACTIVATED WIRING SHALL BE PULLED OUT AND REMOVED FROM THE BACK OF THE PANEL BOX. (SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS).
- 9 REMOVE ALL MISCELLANEOUS ITEMS WHICH INTERFERE WITH THE SCOPE OF RENOVATION THIS PROJECT.
- 10 REPAIR ALL FLOOR, WALL AND CEILING CONDITIONS, WHERE EXISTING ELEMENTS ARE REMOVED, TO MATCH ADJACENT SURFACES. PROVIDE SMOOTH CLEAN SURFACES FOR INSTALLATION OF NEW FINISHES.
- 11 REMOVE ALL EXISTING BLINDS AND WINDOW VALANCES AND ALL ASSOCIATED HARDWARE IN PREPARATION FOR NEW CONSTRUCTION.

KEYED DEMOLITION NOTES

- 1 REMOVE EXISTING RETAINING WALL, STEPS, CONCRETE LANDING, AND PAD AS REQUIRED FOR NEW CONSTRUCTION. PROVIDE SMOOTH, CLEAN SURFACES FOR NEW CONSTRUCTION.
- 2 REMOVE EXISTING BRICK EDGE AND DRIVEWAY GRAVEL AS REQUIRED FOR NEW CONSTRUCTION. REMOVE ALL DEBRIS & PREPAIR AREA FOR NEW CONSTRUCTION.
- 3 REMOVE EXISTING SHRUBS, VEGETATION AND ALL ASSOCIATED ROOTS AS REQUIRED FOR NEW CONSTRUCTION. REMOVE ALL DEBRIS & PREPAIR AREA FOR NEW CONSTRUCTION.
- 4 REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION. REPAIR REMAINING FLOOR, WALL, AND CEILING SURFACES TO MATCH ADJACENT SURFACES. PROVIDE SMOOTH, CLEAN SURFACES FOR NEW CONSTRUCTION.
- 5 CAREFULLY REMOVE EXISTING WINDOW AND FRAME AND ALL ASSOCIATED BLOCKING PREPARATION FOR NEW CONSTRUCTION. EXISTING WINDOW AND HARDWARE TO BE SALVAGED. CONSULT WITH OWNER FOR STORAGE LOCATION.
- 6 CAREFULLY REMOVE EXISTING DOOR AND FRAME, AND ALL ASSOCIATED BLOCKING IN PREPARATION FOR NEW CONSTRUCTION.
- 7 REMOVE EXISTING PLUMBING FIXTURE AND HARDWARE WITH RELATED PIPING, TRIM, FLASHING, AND ETC. CAP ALL PIPING NOT TO BE REUSED, AS PER THE PLUMBING DRAWINGS AND SPECIFICATIONS.
- 8 CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND HARDWARE WITH RELATED PIPING, TRIM, FLASHING, AND ETC. PLUMBING FIXTURE TO BE SALVAGED. CONSULT WITH OWNER FOR STORAGE LOCATION. CAP ALL PIPING NOT TO BE REUSED, AS PER THE PLUMBING DRAWINGS AND SPECIFICATIONS.
- 9 REMOVE EXISTING FLOOR FINISHES AND BASE, COMPLETE. LEVEL FLOOR AND PROVIDE SMOOTH CLEAN SURFACE FOR INSTALLATION OF NEW FLOOR FINISH. SEE IN1.1
- 10 REMOVE EXISTING WALL FINISHES COMPLETE. PROVIDE SMOOTH CLEAN SURFACE FOR INSTALLATION OF NEW FINISH
- 11 REMOVE EXISTING TOILET PAPER DISPENSER, SOAP DISPENSER, PAPER TOWEL DISPENSER, TOOTH BRUSH HOLDER, SOAP HOLDER AND TOWEL ROD, ETC., COMPLETE. PROVIDE SMOOTH, CLEAN SURFACES FOR INSTALLATION OF NEW CONSTRUCTION.
- 12 REMOVE PORTION OF EXISTING WOOD SIDING AS REQUIRED FOR NEW CONSTRUCTION. PROVIDE SMOOTH, CLEAN SURFACES FOR NEW CONSTRUCTION. SEE NEW WALL SECTIONS FOR MORE INFORMATION.
- 13 REMOVE EXISTING DOOR, FRAME, AND ALL ASSOCIATED BLOCKING IN PREPARATION FOR NEW CONSTRUCTION.
- 14 REMOVE PORTION OF EXISTING WALL AND CEILING AS PER PLUMBING DRAWINGS FOR INSTALLATION OF NEW WATER COOLER.
- 15 CAREFULLY REMOVE EXISTING SAFE AND ASSOCIATED BLOCKING IN PREPARATION FOR NEW CONSTRUCTION. EXISTING WINDOW AND HARDWARE TO BE SALVAGED AND REUSED IN NEW CONSTRUCTION. CONSULT WITH OWNER FOR STORAGE LOCATION.
- 16 REMOVE EXISTING BUILT-IN CABINETS, SHELVING, COUNTERTOPS, CASEWORK, ETC. WITH RELATED TRIM, BLOCKING, FASTENERS, AND ELECTRICAL. ALL ELECTRICAL SHALL BE REMOVED AS SHOWN ON ELECTRICAL DRAWINGS.
- 17 CAREFULLY TRIM BRANCHES OF EXISTING MAGNOLIA TREE AS REQUIRED FOR NEW CONSTRUCTION.
- 18 CAREFULLY REMOVE EXISTING DECORATIVE WALL TRIM AND WALLCOVERING WHERE APPLICABLE IN PREPARATION FOR NEW CONSTRUCTION
- 19 DEMOLITION NOTE APPLYS TO ADD ALTERNATE No. 3 ONLY. REMOVE EXISTING FLOOR FINISHES AND BASE, COMPLETE. THROUGHOUT BOOK STORAGE ROOM 210. LEVEL FLOOR AND PROVIDE SMOOTH CLEAN SURFACE FOR INSTALLATION OF NEW FLOOR FINISH. SEE IN1.1

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- DOOR, FRAME AND THRESHOLD TO BE REMOVED
- FIXTURE / CABINET TO BE REMOVED
- LIMITED AREA OF FLOOR DEMOLITION
- NO WORK THIS AREA



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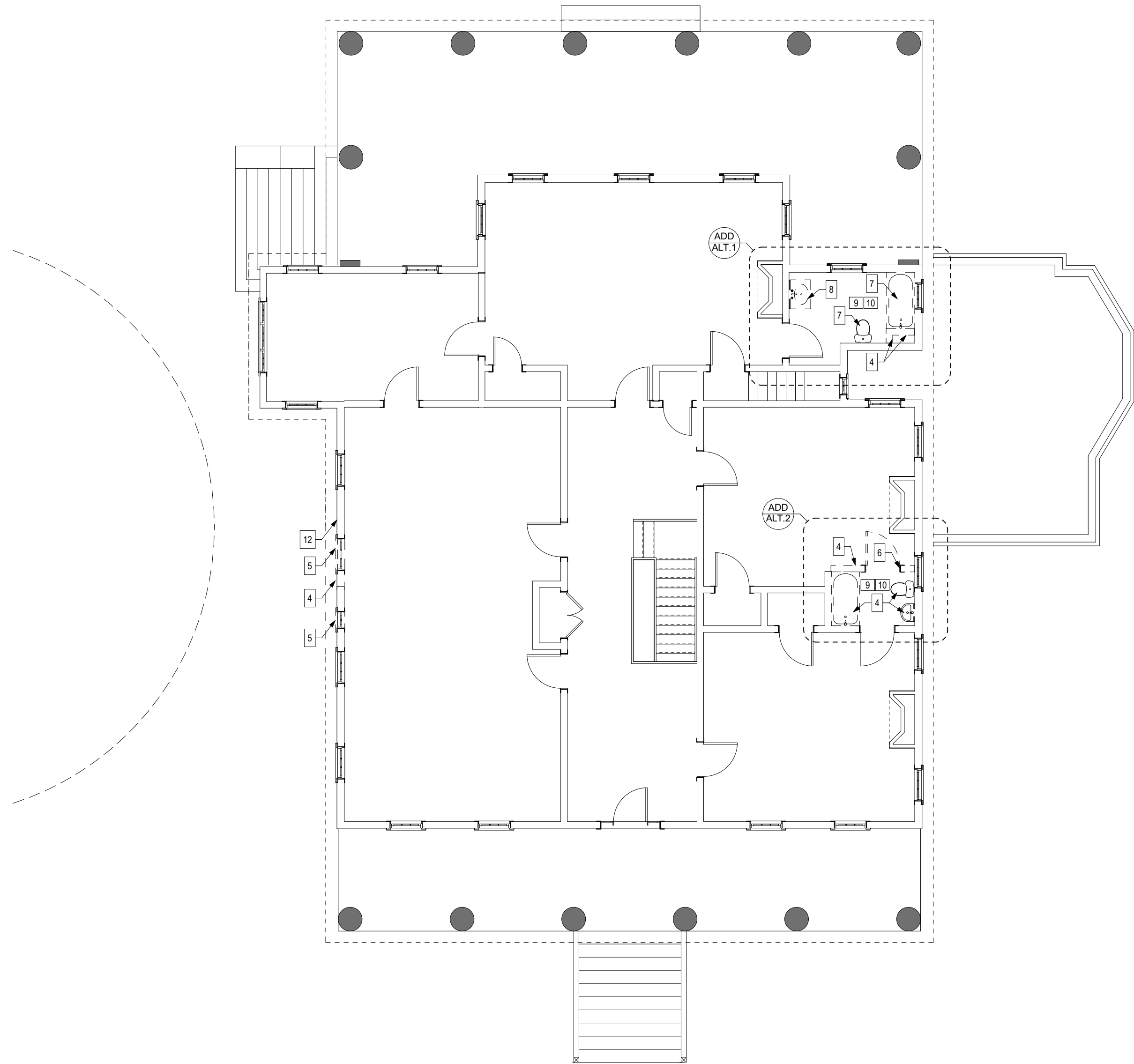
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8
D1.2 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- 1

THE SCOPE OF DEMOLITION SHALL INCLUDE, BUT NOT BE LIMITED TO, THE COMPLETE REMOVAL OF WALLS, DOORS, FRAMES, CEILINGS, FLOOR FINISHES, MECHANICAL, ELECTRICAL, PLUMBING AND EQUIPMENT AS INDICATED ON THE DRAWINGS. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR SPECIFIC DEMOLITION LIMITS.
- 2

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE BEFOREHAND AND BECOMING FAMILIAR WITH THE EXISTING BUILDING COMPLEX AND SCOPE OF WORK TO BE PERFORMED. THESE DEMOLITION NOTES ARE INTENDED TO SERVE AS A GUIDE FOR DEMOLITION WORK AND INDICATE THE GENERAL INTENT OF THE DEMOLITION WORK TO BE PERFORMED. IT SHALL, HOWEVER, BE THE FULL RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL DEMOLITION WORK REQUIRED TO SECURE THE CONSTRUCTION OF WORK INDICATED ON THESE CONTRACT DOCUMENTS, WHETHER OR NOT SPECIFICALLY MENTIONED AND/OR IDENTIFIED.
- 3

CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION AND RECONNECTION OF ANY ELECTRICAL, PLUMBING, AND/OR SEWER SERVICES WHICH MAY BE PERMANENTLY OR TEMPORARILY INTERRUPTED. CONTRACTOR IS RESPONSIBLE FOR ANY CAPPING AND PROPER SEALING OF PLUMBING ITEMS AS MAY BE REQUIRED.
- 4

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS NECESSARY FOR BUILDING OF BARRICADES, BRACING, SHORING, GUARD RAILS, LIGHTS, AND WARNING SIGNS DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
- 5

CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO COMPLETELY PROTECT EXISTING STRUCTURES, UTILITIES, AND ANY OTHER ITEMS TO REMAIN. DAMAGED EXISTING ELEMENTS SHALL BE REPLACED TO LIKE NEW CONDITION.
- 6

ALL DIMENSIONS AND EXACT LOCATIONS OF ITEMS AS SHOWN ON THE DRAWINGS ARE SUBJECT TO VERIFICATION OF EXISTING CONDITIONS. ANY DISCREPANCY AFFECTING THE CONSTRUCTION ACTIVITIES AND INTENT OF WORK TO BE PERFORMED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
- 7

ALL EQUIPMENT TO BE REMOVED AND RETAINED BY THE OWNER SHALL BE TAGGED ACCORDINGLY AND SHALL NOT BE THE RESPONSIBILITY OF THE OWNER TO REMOVE. THE CONTRACTOR WILL BE RESPONSIBLE TO NOTIFY THE OWNER IF THE EQUIPMENT IS NOT REMOVED AND PROVIDE PROTECTION UNTIL IT IS REMOVED.
- 8

REMOVE ALL EXISTING ELECTRICAL WIRING, CONDUIT, RECEPTACLES, PANELS, SWITCHES, LIGHTING FIXTURES, CLOCKS, SPEAKERS, BELLS, AND OTHER ELECTRICAL ITEMS EXPOSED WHERE DEMOLITION WORK OCCURS. CONDUIT IN EXISTING WALLS TO REMAIN MAY BE ABANDONED, BUT ALL DEACTIVATED WIRING SHALL BE PULLED OUT AND REMOVED FROM THE BACK OF THE PANEL BOX. (SEE ELECTRICAL DRAWINGS AND SPECIFICATIONS).
- 9

REMOVE ALL MISCELLANEOUS ITEMS WHICH INTERFERE WITH THE SCOPE OF RENOVATION THIS PROJECT.
- 10

REPAIR ALL FLOOR, WALL AND CEILING CONDITIONS, WHERE EXISTING ELEMENTS ARE REMOVED, TO MATCH ADJACENT SURFACES. PROVIDE SMOOTH CLEAN SURFACES FOR INSTALLATION OF NEW FINISHES.
- 11

REMOVE ALL EXISTING BLINDS AND WINDOW VALANCES AND ALL ASSOCIATED HARDWARE IN PREPARATION FOR NEW CONSTRUCTION.

KEYED DEMOLITION NOTES

- 1

REMOVE EXISTING RETAINING WALL, STEPS, CONCRETE LANDING, AND PAD AS REQUIRED FOR NEW CONSTRUCTION. PROVIDE SMOOTH, CLEAN SURFACES FOR NEW CONSTRUCTION.
- 2

REMOVE EXISTING BRICK EDGE AND DRIVEWAY GRAVEL AS REQUIRED FOR NEW CONSTRUCTION. REMOVE ALL DEBRIS & PREPAIR AREA FOR NEW CONSTRUCTION.
- 3

REMOVE EXISTING SHRUBS, VEGETATION AND ALL ASSOCIATED ROOTS AS REQUIRED FOR NEW CONSTRUCTION. REMOVE ALL DEBRIS & PREPAIR AREA FOR NEW CONSTRUCTION.
- 4

REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION. REPAIR REMAINING FLOOR, WALL, AND CEILING SURFACES TO MATCH ADJACENT SURFACES. PROVIDE SMOOTH, CLEAN SURFACES FOR NEW CONSTRUCTION.
- 5

CAREFULLY REMOVE EXISTING WINDOW AND FRAME AND ALL ASSOCIATED BLOCKING PREPARATION FOR NEW CONSTRUCTION. EXISTING WINDOW AND HARDWARE TO BE SALVAGED. CONSULT WITH OWNER FOR STORAGE LOCATION.
- 6

CAREFULLY REMOVE EXISTING DOOR AND FRAME, AND ALL ASSOCIATED BLOCKING IN PREPARATION FOR NEW CONSTRUCTION.
- 7

REMOVE EXISTING PLUMBING FIXTURE AND HARDWARE WITH RELATED PIPING, TRIM, FLASHING, AND ETC. CAP ALL PIPING NOT TO BE REUSED, AS PER THE PLUMBING DRAWINGS AND SPECIFICATIONS.
- 8

CAREFULLY REMOVE EXISTING PLUMBING FIXTURE AND HARDWARE WITH RELATED PIPING, TRIM, FLASHING, AND ETC. PLUMBING FIXTURE TO BE SALVAGED. CONSULT WITH OWNER FOR STORAGE LOCATION. CAP ALL PIPING NOT TO BE REUSED, AS PER THE PLUMBING DRAWINGS AND SPECIFICATIONS.
- 9

REMOVE EXISTING FLOOR FINISHES AND BASE, COMPLETE. LEVEL FLOOR AND PROVIDE SMOOTH CLEAN SURFACE FOR INSTALLATION OF NEW FLOOR FINISH. SEE IN1.1
- 10

REMOVE EXISTING WALL FINISHES COMPLETE. PROVIDE SMOOTH CLEAN SURFACE FOR INSTALLATION OF NEW FINISH
- 11

REMOVE EXISTING TOILET PAPER DISPENSER, SOAP DISPENSER, PAPER TOWEL DISPENSER, TOOTH BRUSH HOLDER, SOAP HOLDER AND TOWEL ROD, ETC., COMPLETE. PROVIDE SMOOTH, CLEAN SURFACES FOR INSTALLATION OF NEW CONSTRUCTION.
- 12

REMOVE PORTION OF EXISTING WOOD SIDING AS REQUIRED FOR NEW CONSTRUCTION. PROVIDE SMOOTH, CLEAN SURFACES FOR NEW CONSTRUCTION. SEE NEW WALL SECTIONS FOR MORE INFORMATION.
- 13

REMOVE EXISTING DOOR, FRAME, AND ALL ASSOCIATED BLOCKING IN PREPARATION FOR NEW CONSTRUCTION.
- 14

REMOVE PORTION OF EXISTING WALL AND CEILING AS PER PLUMBING DRAWINGS FOR INSTALLATION OF NEW WATER COOLER.
- 15

CAREFULLY REMOVE EXISTING SAFE AND ASSOCIATED BLOCKING IN PREPARATION FOR NEW CONSTRUCTION. EXISTING WINDOW AND HARDWARE TO BE SALVAGED AND REUSED IN NEW CONSTRUCTION. CONSULT WITH OWNER FOR STORAGE LOCATION.
- 16

REMOVE EXISTING BUILT-IN CABINETS, SHELVING, COUNTERTOPS, CASEWORK, ETC. WITH RELATED TRIM, BLOCKING, FASTENERS, AND ELECTRICAL. ALL ELECTRICAL SHALL BE REMOVED AS SHOWN ON ELECTRICAL DRAWINGS.
- 17

CAREFULLY TRIM BRANCHES OF EXISTING MAGNOLIA TREE AS REQUIRED FOR NEW CONSTRUCTION.
- 18

CAREFULLY REMOVE EXISTING DECORATIVE WALL TRIM AND WALLCOVERING WHERE APPLICABLE IN PREPARATION FOR NEW CONSTRUCTION
- 19

DEMOLITION NOTE APPLYS TO ADD ALTERNATE No. 3 ONLY. REMOVE EXISTING FLOOR FINISHES AND BASE, COMPLETE. THROUGHOUT BOOK STORAGE ROOM 210. LEVEL FLOOR AND PROVIDE SMOOTH CLEAN SURFACE FOR INSTALLATION OF NEW FLOOR FINISH. SEE IN1.1

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- DOOR, FRAME AND THRESHOLD TO BE REMOVED
- FIXTURE / CABINET TO BE REMOVED
- LIMITED AREA OF FLOOR DEMOLITION
- NO WORK THIS AREA

OVERALL DEMOLITON PLANS

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
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APPLEBY BRANCH LIBRARY

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D1.2



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OVERALL RENOVATED BASEMENT AND FIRST FLOOR
PLANS

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
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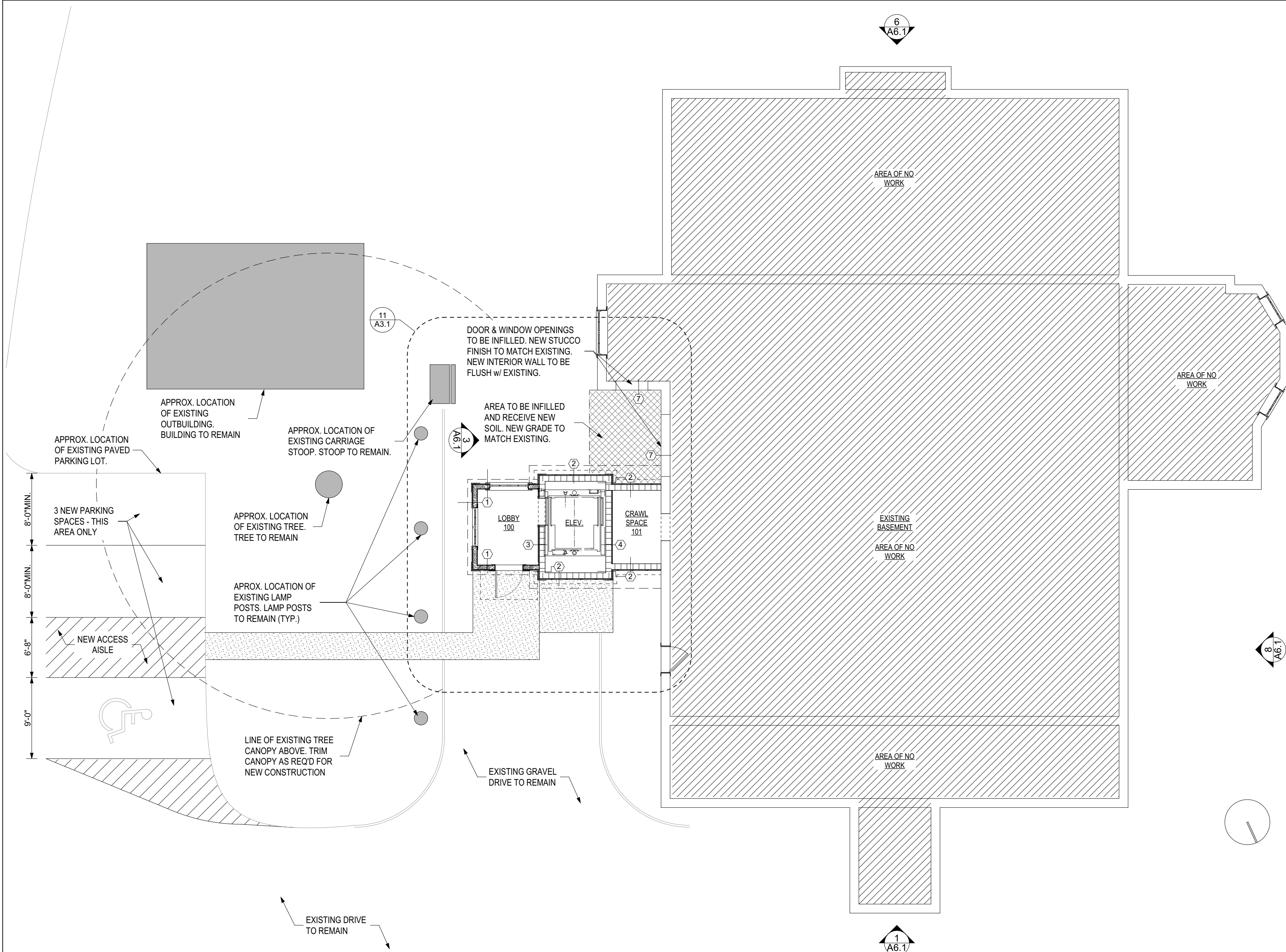
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PLOT DATE: 3/17/2022

A1.1



6 OVERALL RENOVATED BASEMENT PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES	
TYPICAL FOR SHEETS A1.1, A1.2, A3.1, A3.2	
1.	ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
2.	IN CASE OF DISCREPANCY AND/OR CONFLICTS BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE TO FULFILL THE MOST STRINGENT OF THE REQUIREMENTS AS RELATED TO QUANTITY AND QUALITY UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLARIFY ANY DISCREPANCIES PRIOR TO ACTUAL CONSTRUCTION.
3.	ALL BRICK & CONCRETE MASONRY BLOCK UNITS SHALL BE RUNNING BOND.
4.	ALL PARTIAL WALL CONSTRUCTIONS AND WALL REPAIRS ARE TO ALIGN WITH THE FINISH OF THE PARALLEL EXISTING WALL CONSTRUCTION. JOINTS SHOULD BE LEVEL, SMOOTH, AND CLEAN IN ORDER TO RECEIVE FINISHES.
5.	ALL DOORS SHALL BE LOCATED IN PROPOSED WALLS AS INDICATED IN THE DIAGRAM BELOW, UNLESS SHOWN OTHERWISE AT PLAN AND/OR DOOR JAMB DETAILS. THESE DIMENSIONS ARE REFERENCED AS A BASIC GUIDE FOR THE CONTRACTOR, HOWEVER CERTAIN CONDITIONS SHALL VARY AND CONSTITUTE DOOR LOCATION ACCORDING TO DETAILS INDICATED ON DRAWINGS. ALL DIMENSIONS WITH "HDCP" NOTATION ARE MINIMUM AND MUST BE MAINTAINED AT ALL LOCATIONS IN WHICH ACCESSIBILITY BY THE HANDICAPPED IS REQUIRED.

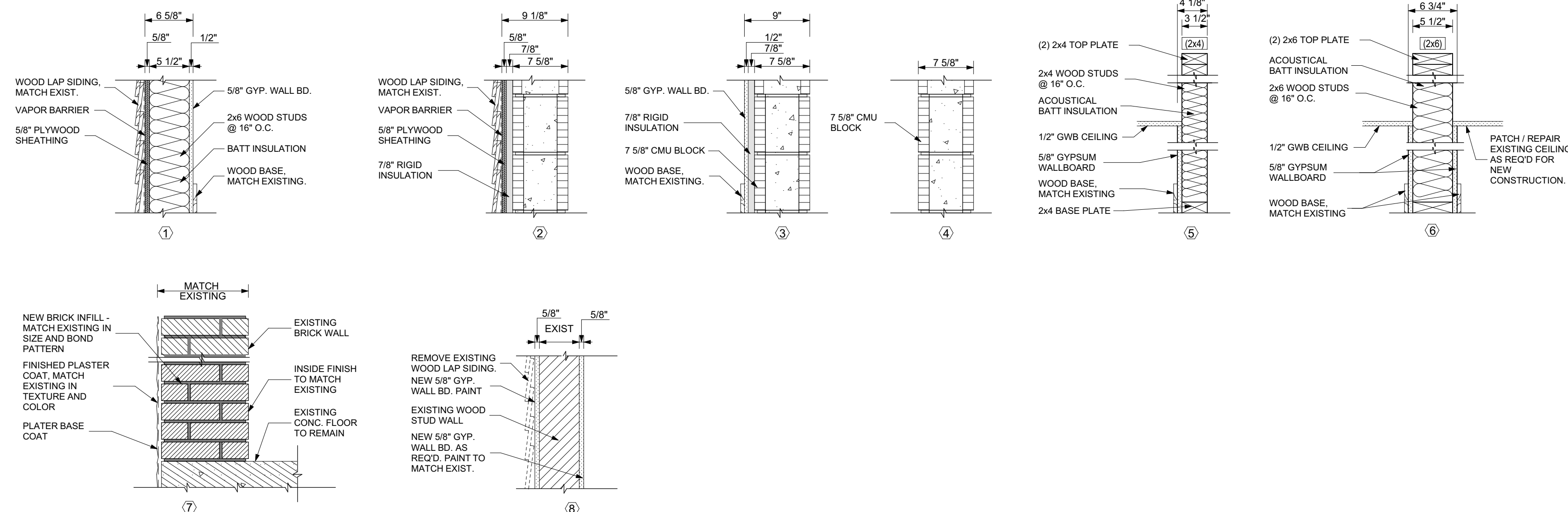
4" AT PARTITIONS

MIN. 1'-0"

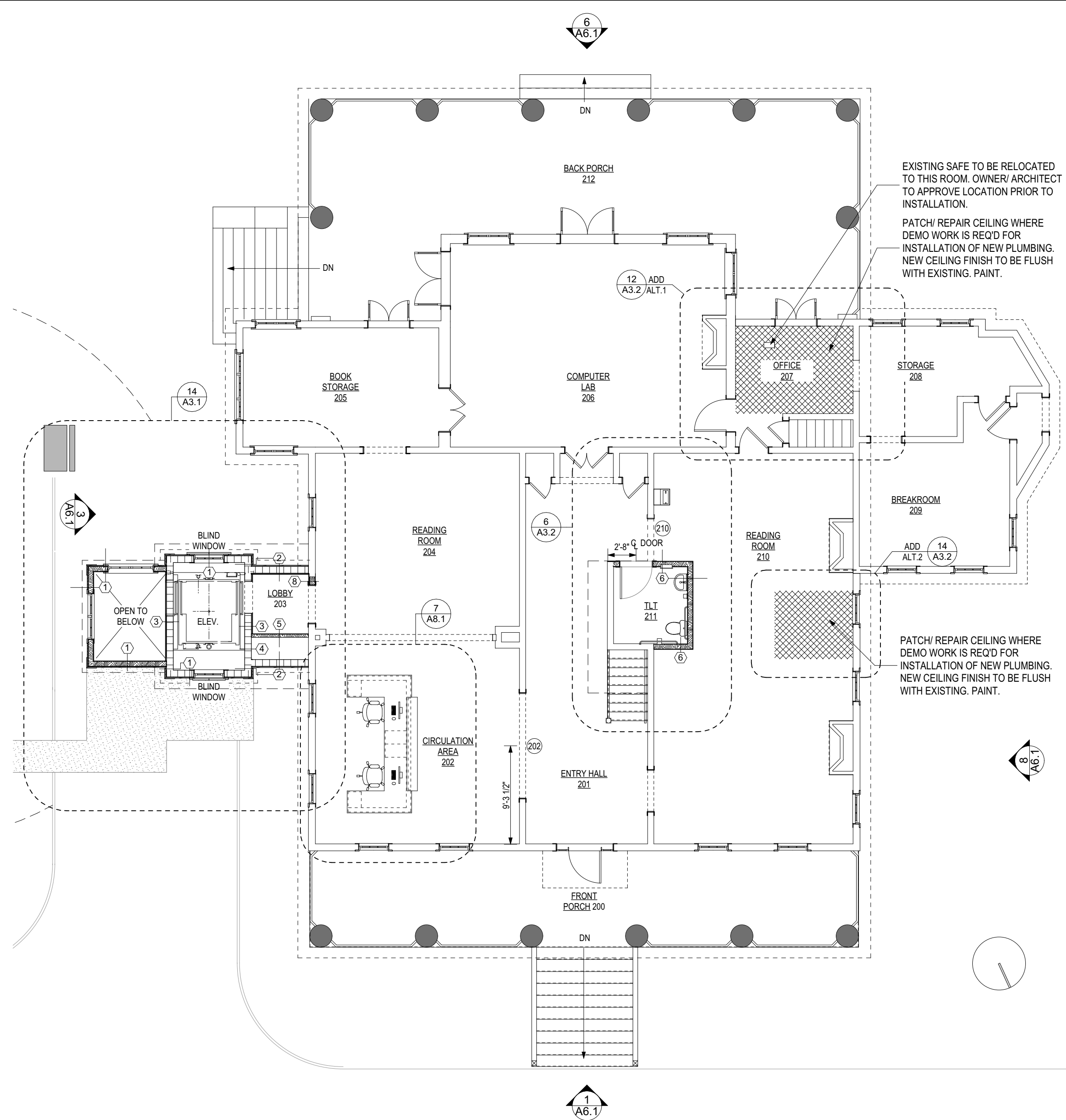
SEE SCHED.

2'-0" MIN.

GENERAL NOTES	
TYPICAL FOR SHEETS A1.1, A1.2, A3.1, A3.2	
	DOOR AND FRAME REFERENCE MARK (SEE DOOR AND FRAME SCHEDULE)
	WINDOW IDENTIFICATION MARK
	ROOM IDENTIFICATION MARK
	ELEVATION REFERENCE MARK. UPPER DESIGNATION: ELEVATION REFERENCE LOWER DESIGNATION: SHEET REFERENCE
	BUILDING SECTION OR DETAIL REFERENCE MARK. UPPER DESIGNATION: DETAIL REFERENCE LOWER DESIGNATION: SHEET REFERENCE
	PLUMBING FIXTURES. (SEE PLUMBING).
	WALL CONSTRUCTION TYPE IDENTIFICATION
	TOILET ACCESSORY DESIGNATION



WALL TYPES
SCALE: 1" = 1'-0"



8 OVERALL RENOVATED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



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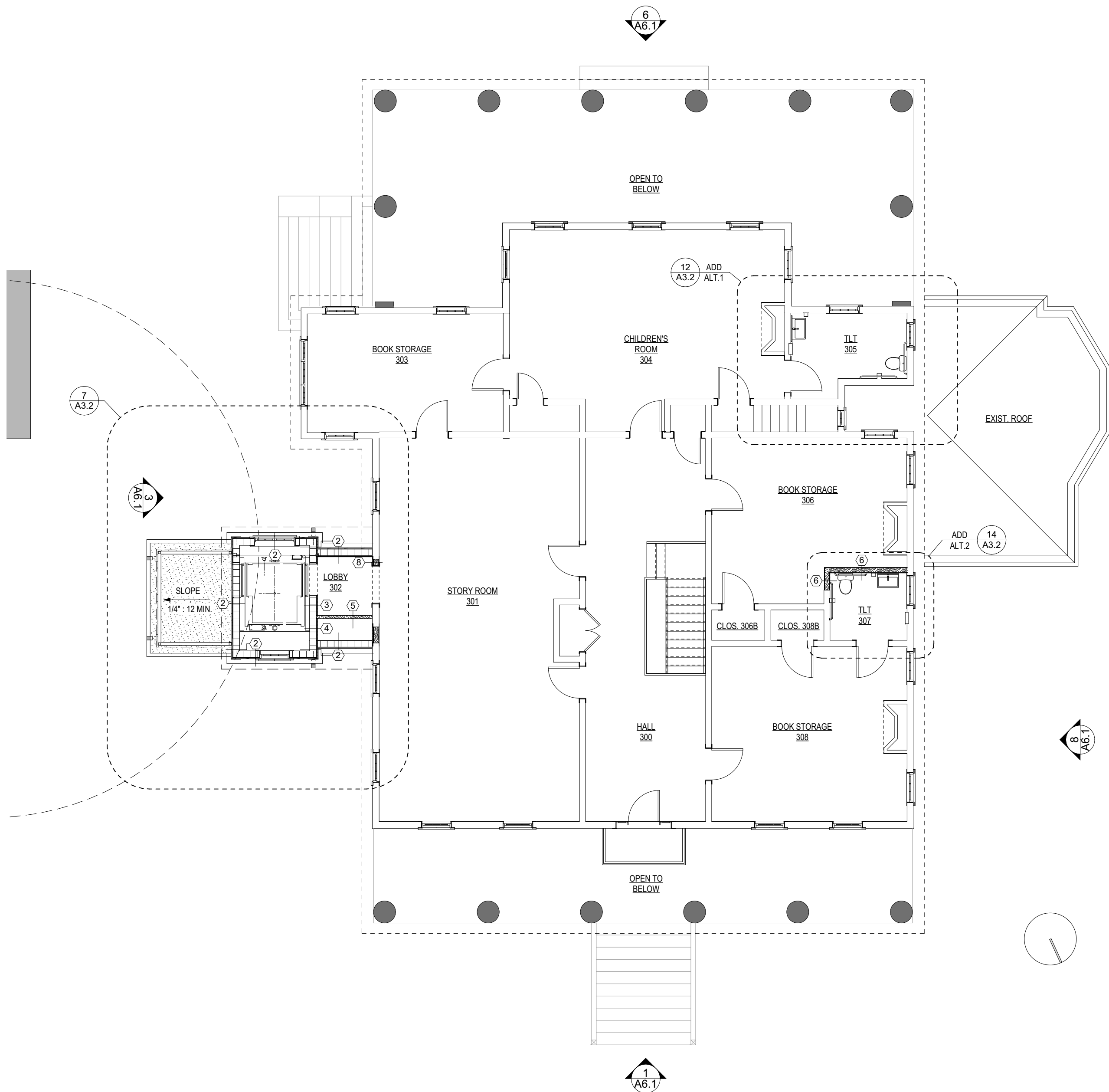
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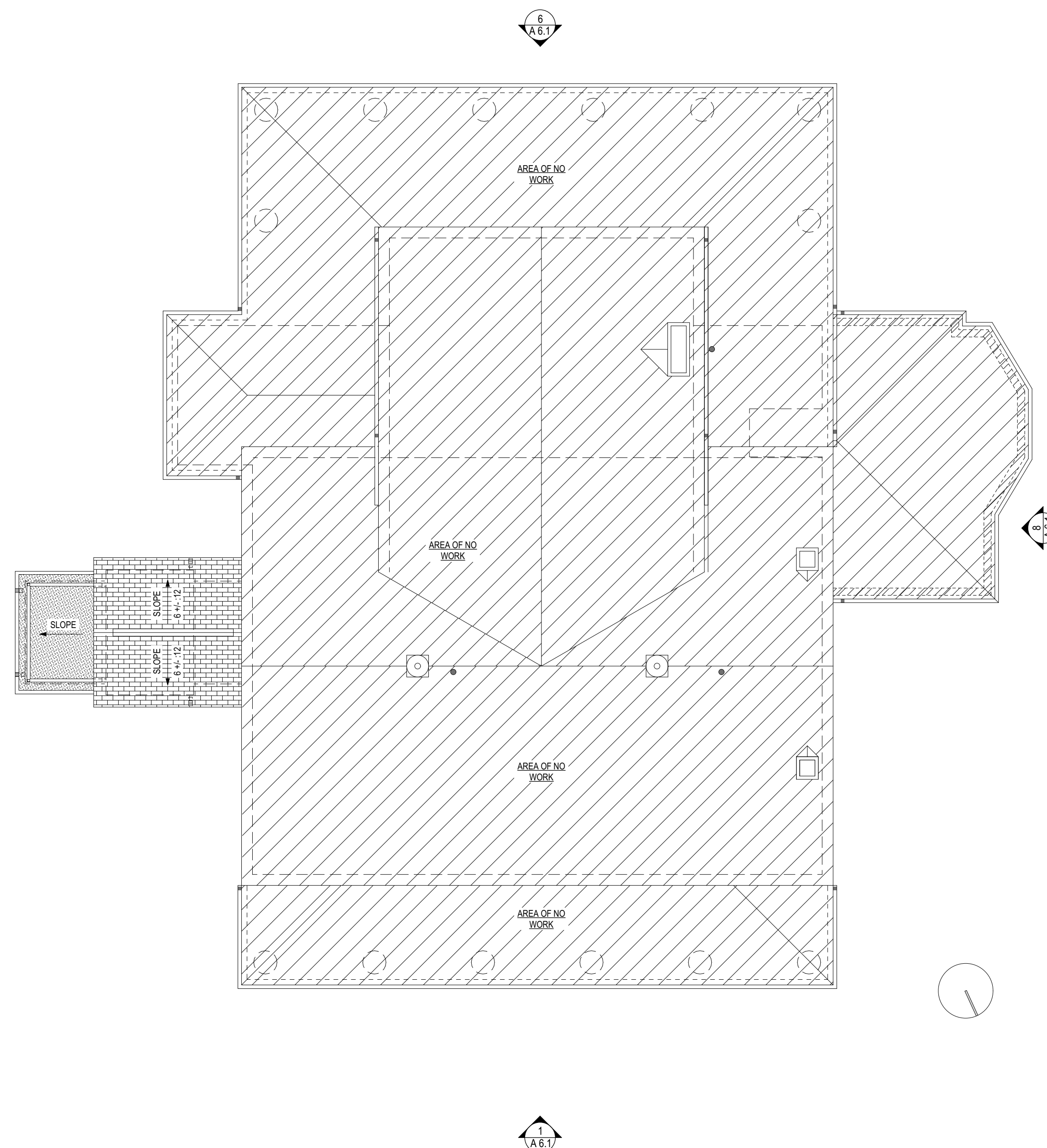
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6
A1.2 OVERALL RENOVATED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

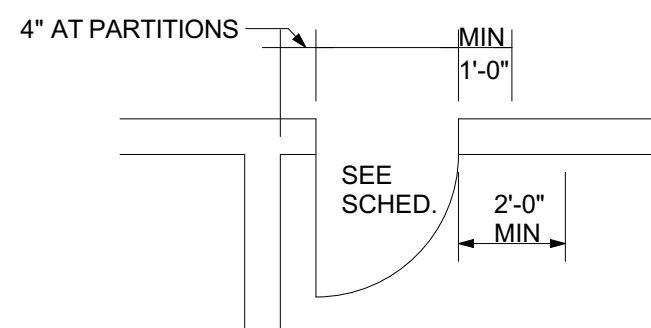


8
A1.2 OVERALL RENOVATED ROOF PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

TYPICAL FOR SHEETS A1.1, A1.2, A3.1, A3.2

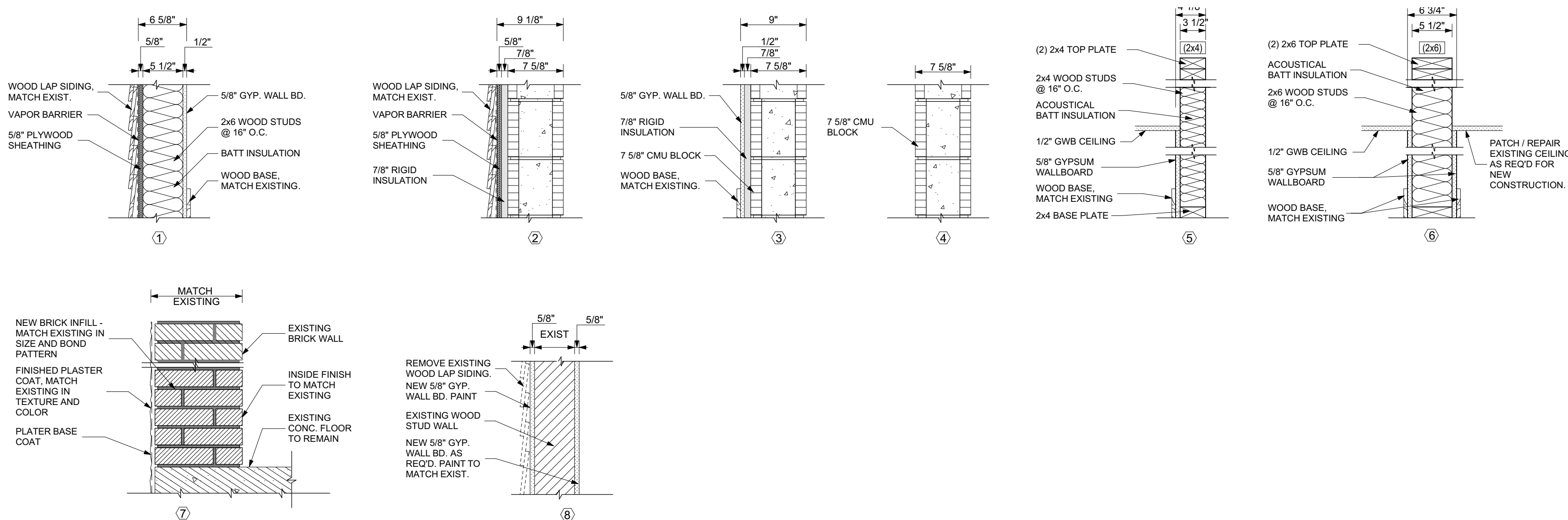
- ALL FLOOR PLAN DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
- IN CASE OF DISCREPANCY AND/OR CONFLICTS BETWEEN DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE TO FULFILL THE MOST STRINGENT OF THE REQUIREMENTS AS RELATED TO QUANTITY AND QUALITY UNLESS OTHERWISE DIRECTED BY THE ARCHITECT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLARIFY ANY DISCREPANCIES PRIOR TO ACTUAL CONSTRUCTION.
- ALL BRICK & CONCRETE MASONRY BLOCK UNITS SHALL BE RUNNING BOND.
- ALL PARTIAL WALL CONTRUCTIONS AND WALL REPAIRS ARE TO ALIGN WITH THE FINISH OF THE PARALLEL EXISTING WALL CONSTRUCTION. JOINTS SHOULD BE LEVEL, SMOOTH, AND CLEAN IN ORDER TO RECIEVE FINISHES.
- ALL DOORS SHALL BE LOCATED IN PROPOSED WALLS AS INDICATED IN THE DIAGRAM BELOW, UNLESS SHOWN OTHERWISE AT PLAN AND/OR DOOR JAMB DETAILS. THESE DIMENSIONS ARE REFERENCED AS A BASIC GUIDE FOR THE CONTRACTOR. HOWEVER CERTAIN CONDITIONS SHALL VARY AND CONSTITUTE DOOR LOCATION ACCORDING TO DETAILS INDICATED ON DRAWINGS. ALL DIMENSIONS WITH "HDCP" NOTATION ARE MINIMUM AND MUST BE MAINTAINED AT ALL LOCATIONS IN WHICH ACCESSIBILITY BY THE HANDICAPPED IS REQUIRED.



GENERAL NOTES

TYPICAL FOR SHEETS A1.1, A1.2, A3.1, A3.2

	DOOR AND FRAME REFERENCE MARK (SEE DOOR AND FRAME SCHEDULE)
	WINDOW IDENTIFICATION MARK
	ROOM IDENTIFICATION MARK
	ELEVATION REFERENCE MARK. UPPER DESIGNATION: ELEVATION REFERENCE LOWER DESIGNATION: SHEET REFERENCE
	BUILDING SECTION OR DETAIL REFERENCE MARK. UPPER DESIGNATION: DETAIL REFERENCE LOWER DESIGNATION: SHEET REFERENCE
	PLUMBING FIXTURES. (SEE PLUMBING).
	WALL CONSTRUCTION TYPE IDENTIFICATION
	TOILET ACCESSORY DESIGNATION



WALL TYPES

SCALE: 1" = 1'-0"

OVERALL RENOVATED SECOND FLOOR PLAN AND ROOF PLAN

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
RICHMOND COUNTY PUBLIC LIBRARY SYSTEM

APPLEBY BRANCH LIBRARY

2260 WALTON WAY
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PROJECT NUMBER 202056

DRAWN BY: LAL

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ISSUE DATE: 06/24/2021

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A1.2



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2260 WALTON WAY
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SCALE: 3/8" = 1'-0"

A3.1



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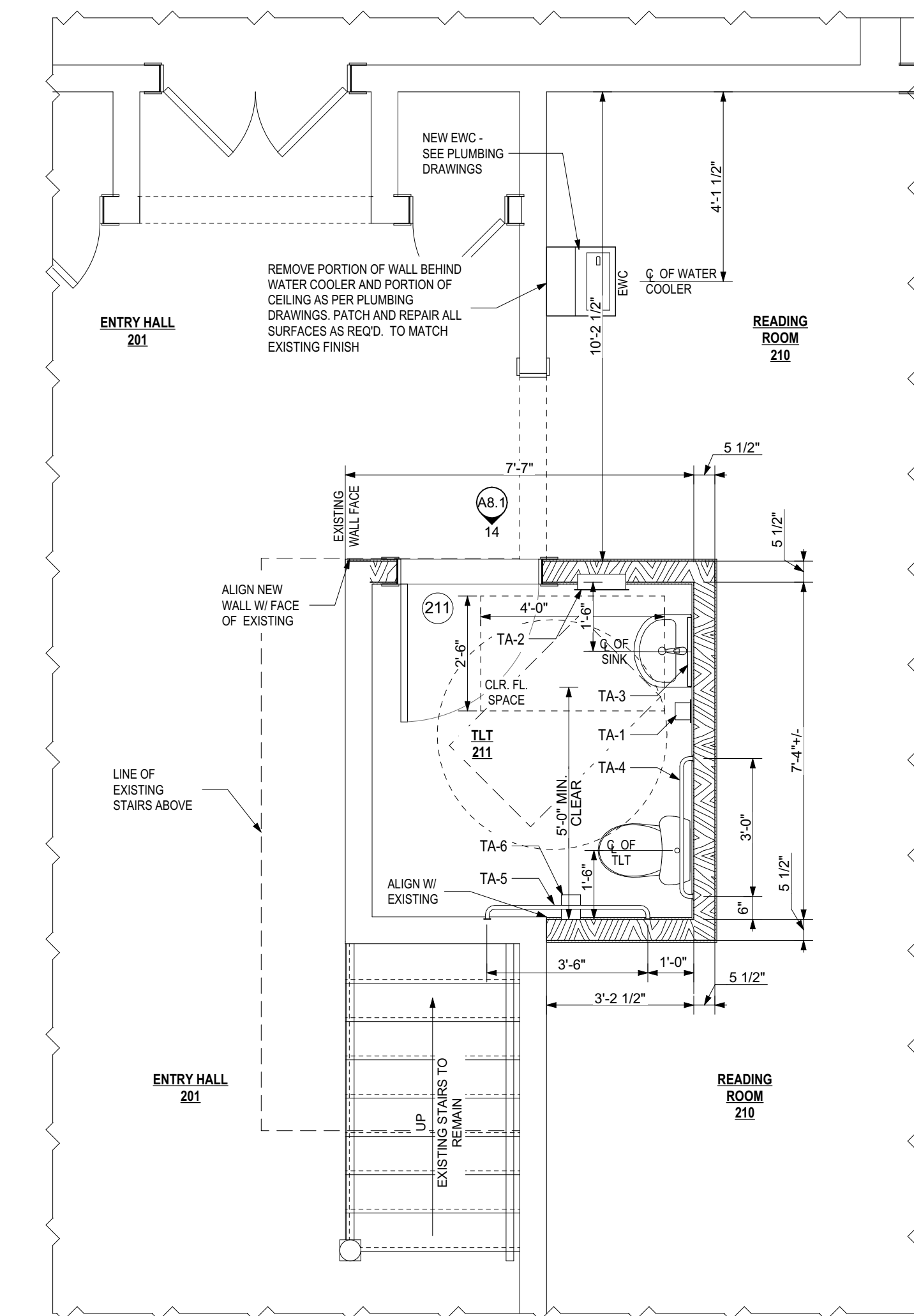
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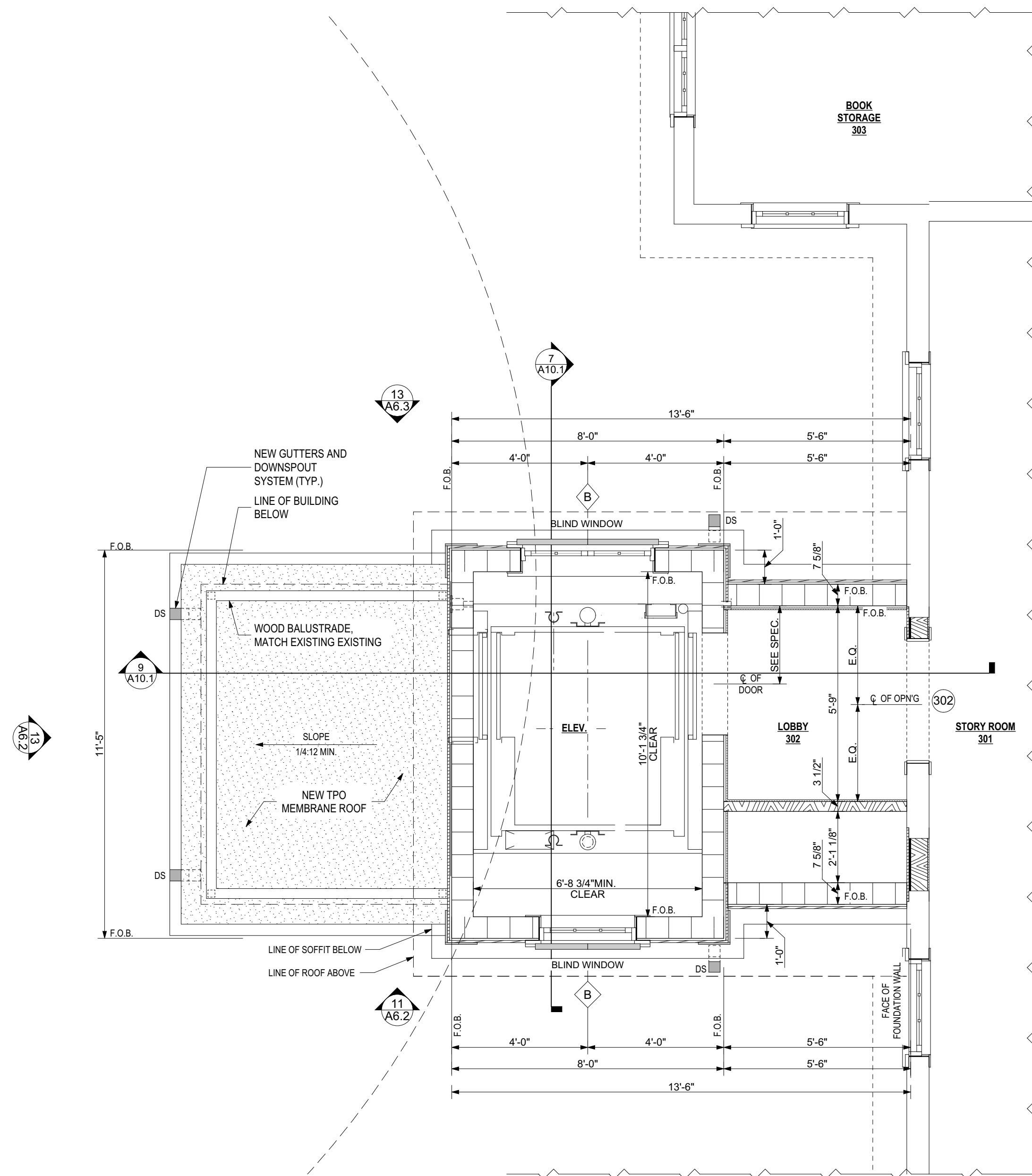
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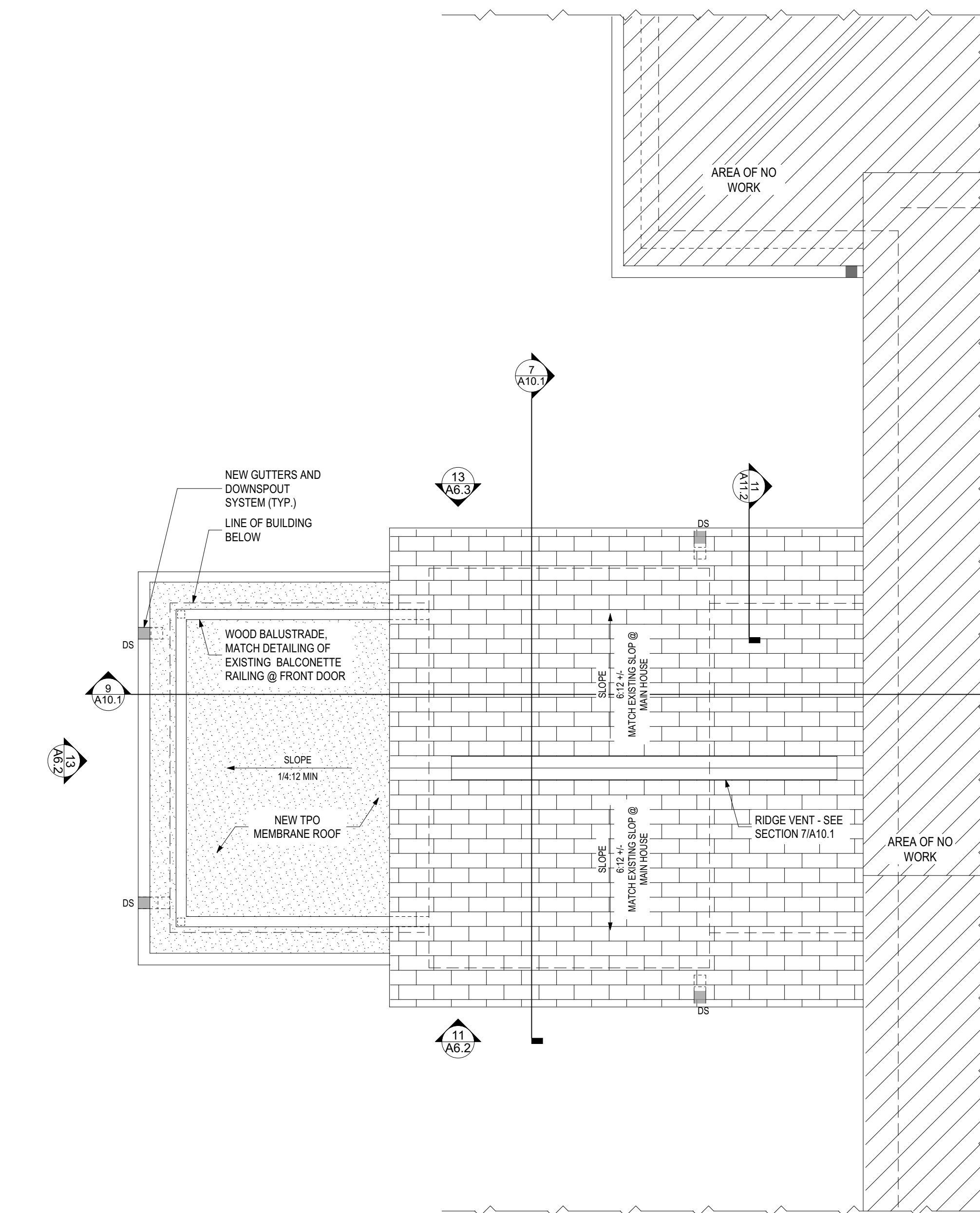
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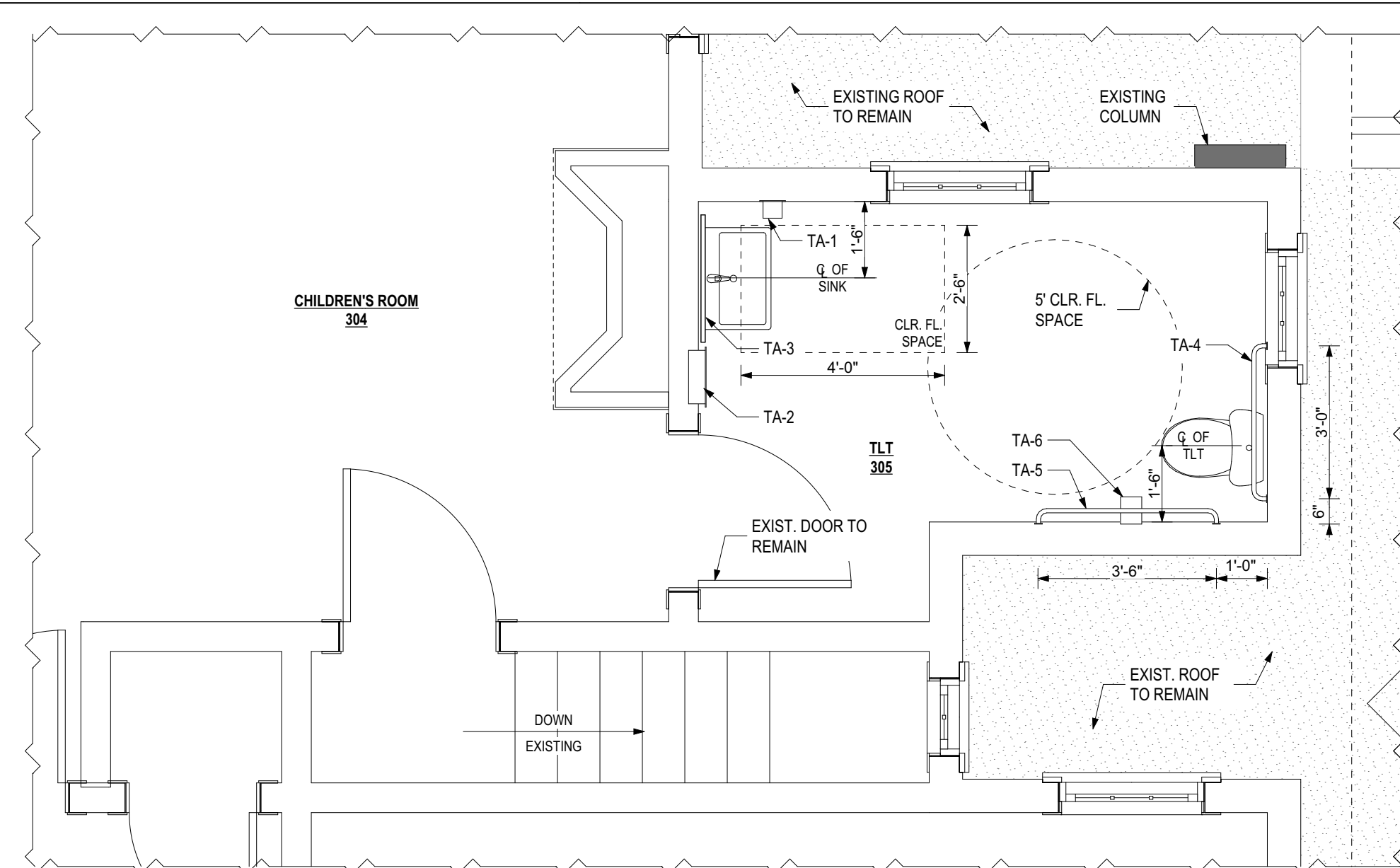
6
A3.2 ENLARGED TLT 211 & DRINKING FOUNTAIN
SCALE: 3/8" = 1'-0"



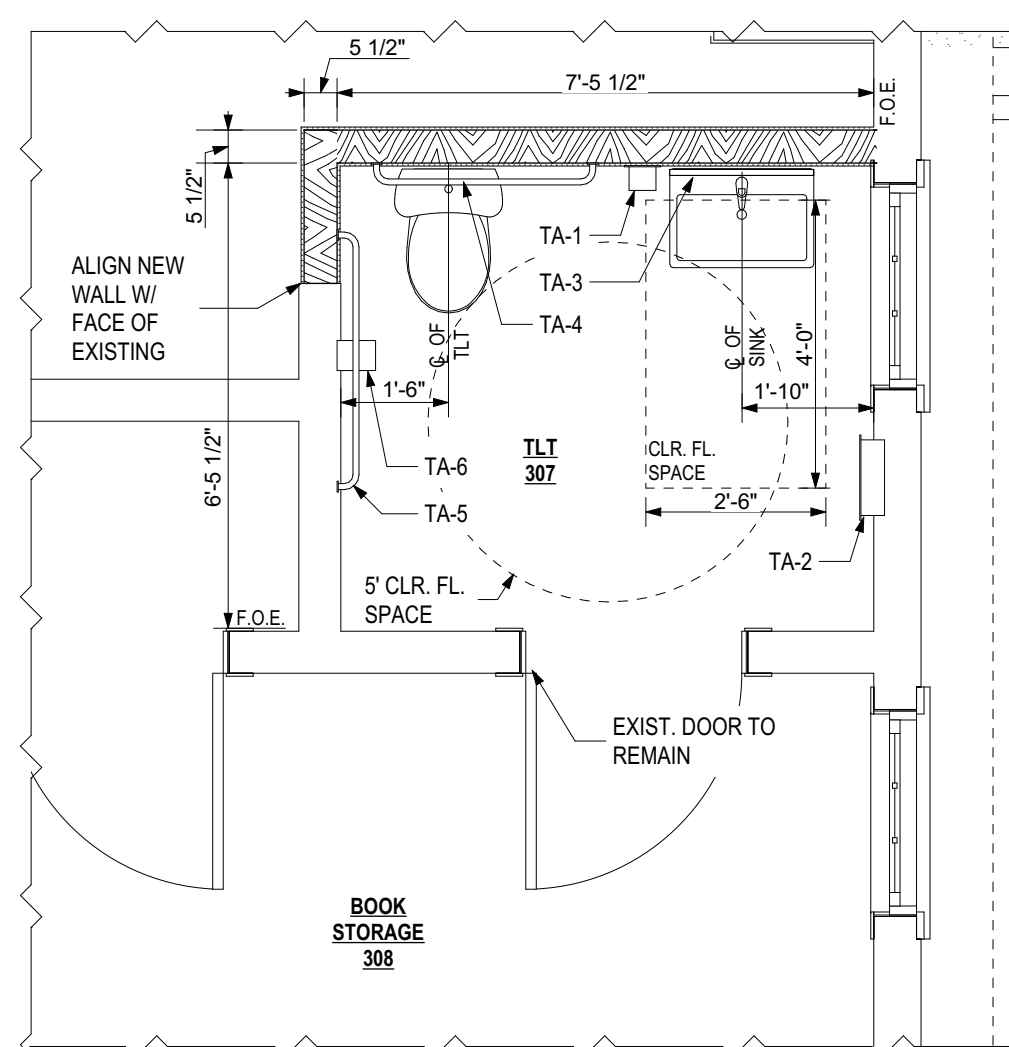
7
A3.2 ENLARGED SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0"



9
A3.2 ENLARGED ROOF PLAN
SCALE: 3/8" = 1'-0"



12
A3.2 ADD ALT. No.1 - TLT 305
SCALE: 3/8" = 1'-0"



14
A3.2 ADD ALT. No.2 - TLT 307
SCALE: 3/8" = 1'-0"

TOILET ACCESSORIES		
MARK	DESCRIPTION	MOUNTING HEIGHT ABOVE FINISH FLOOR
TA-1	SOAP DISPENSER	3'-6" TO BOTTOM
TA-2	RECESSED PAPER TOWEL DISPENSER	4'-3" TO TOP
TA-3	24" X 36" MIRROR	3'-4" TO BOTTOM OF REFLECTIVE SURFACE
TA-4	36" GRAB BAR	2'-10" TO TOP
TA-5	42" GRAB BAR	2'-10" TO TOP
TA-6	TOILET TISSUE DISPENSER	1'-8" TO TOP

NOTES

ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
REFER TO A1.1 AND A1.2 FOR WALL TYPE CONSTRUCTION

ENLARGED FLOOR PLANS & ADD ALTERNATES #1,2,&3

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
RICHMOND COUNTY PUBLIC LIBRARY SYSTEM

APPLEBY BRANCH LIBRARY

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A3.2



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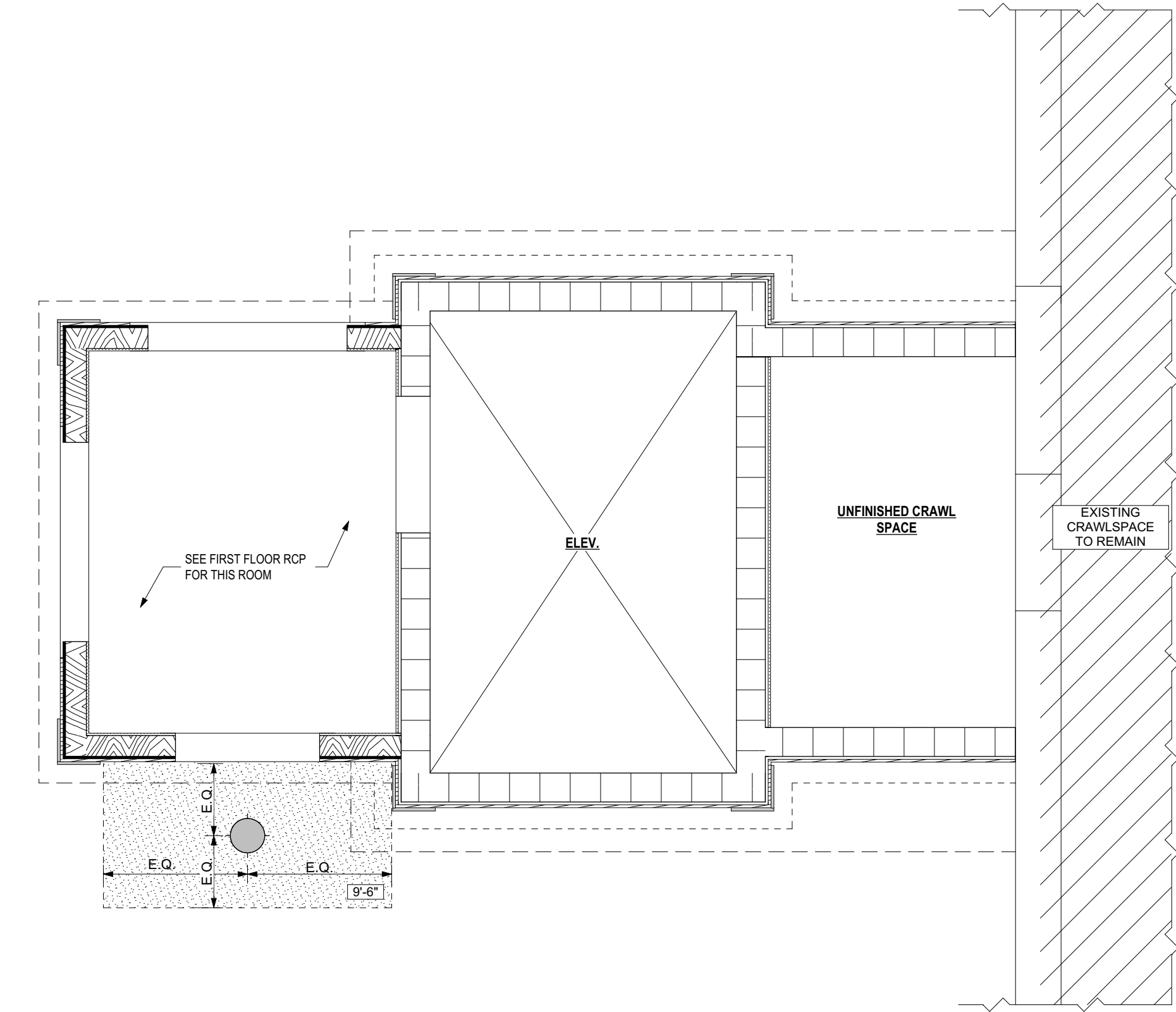
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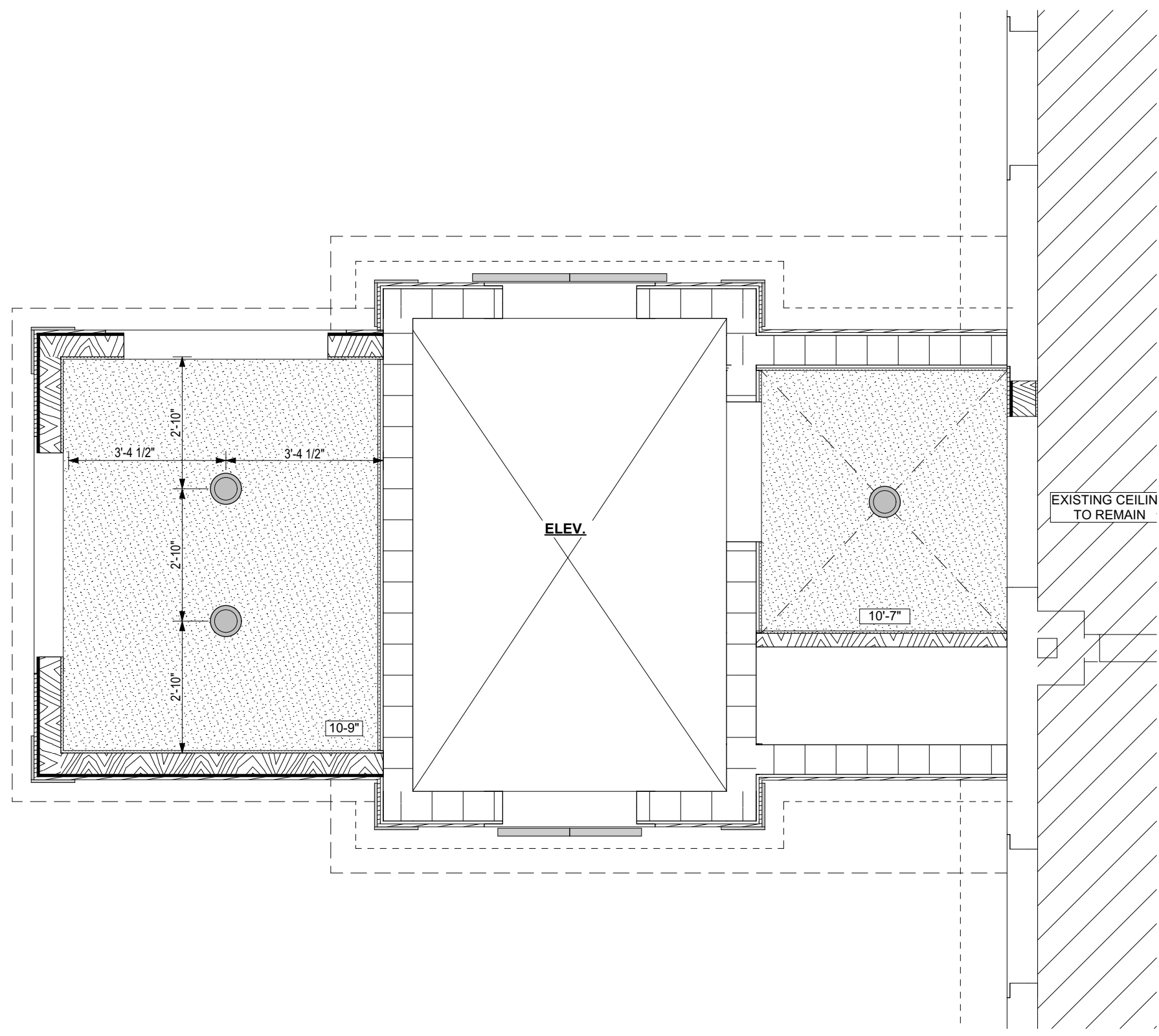
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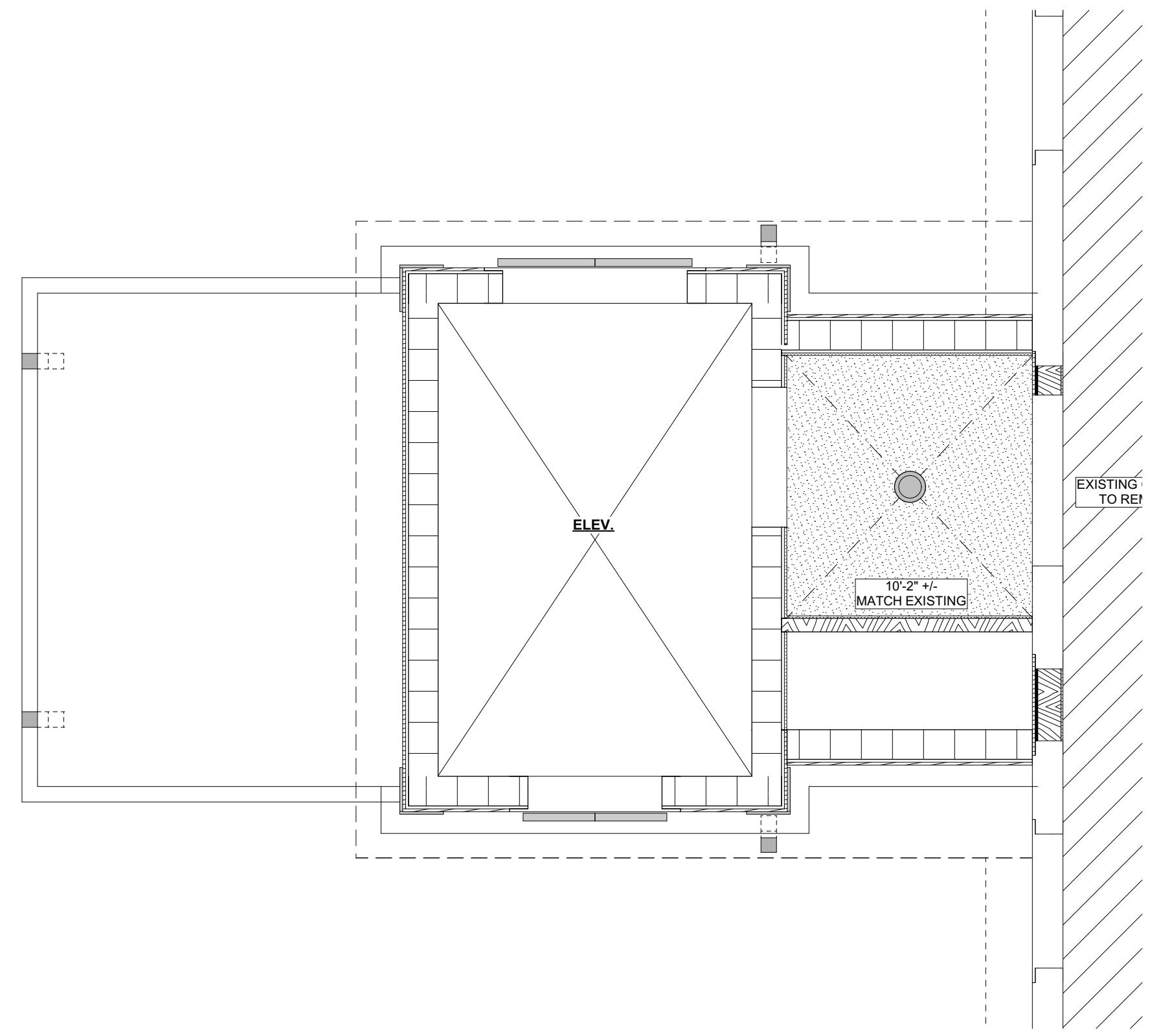
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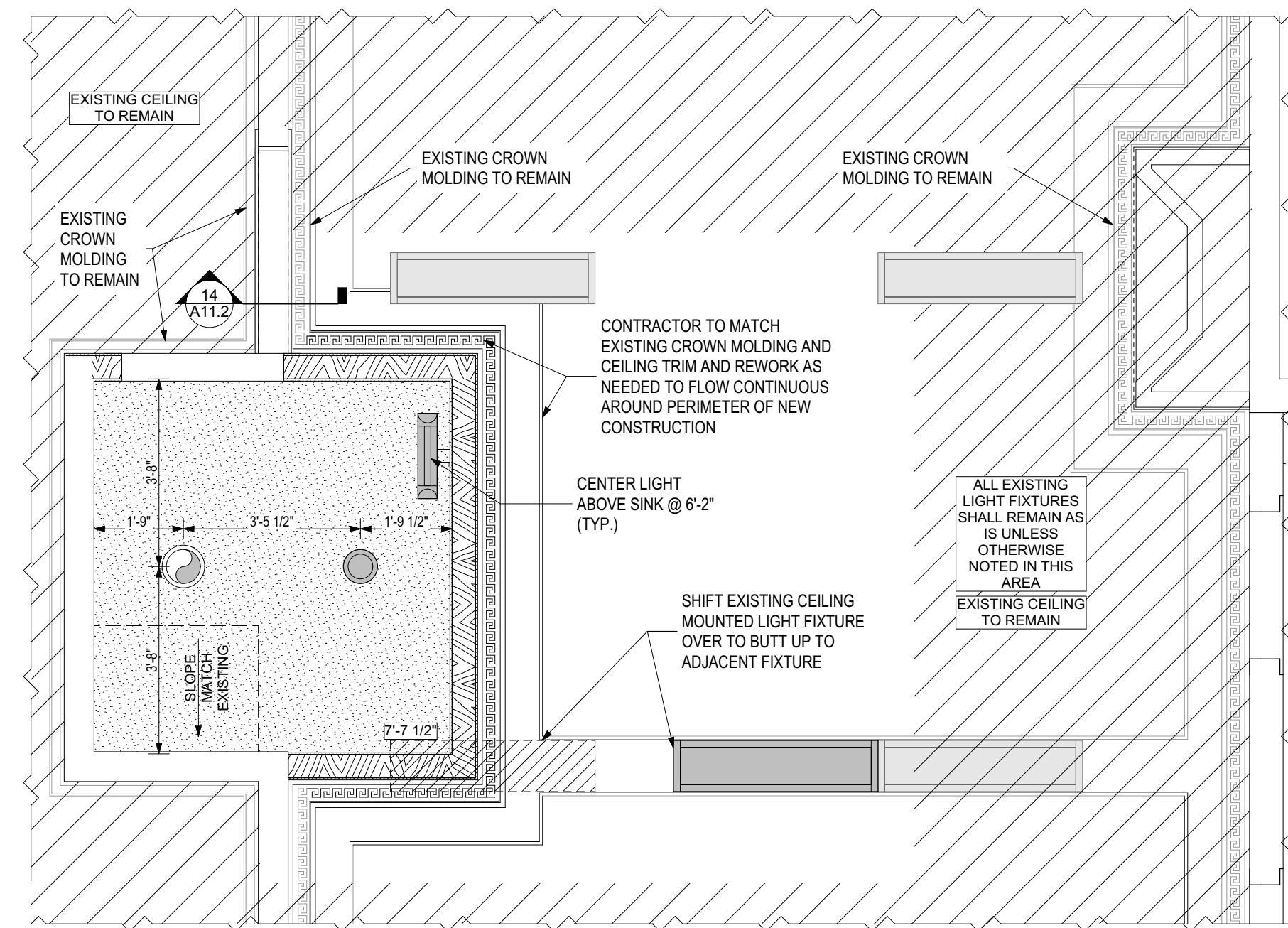
6 BASEMENT REFLECTED CEILING PLAN
A4.1 SCALE: 3/8" = 1'-0"



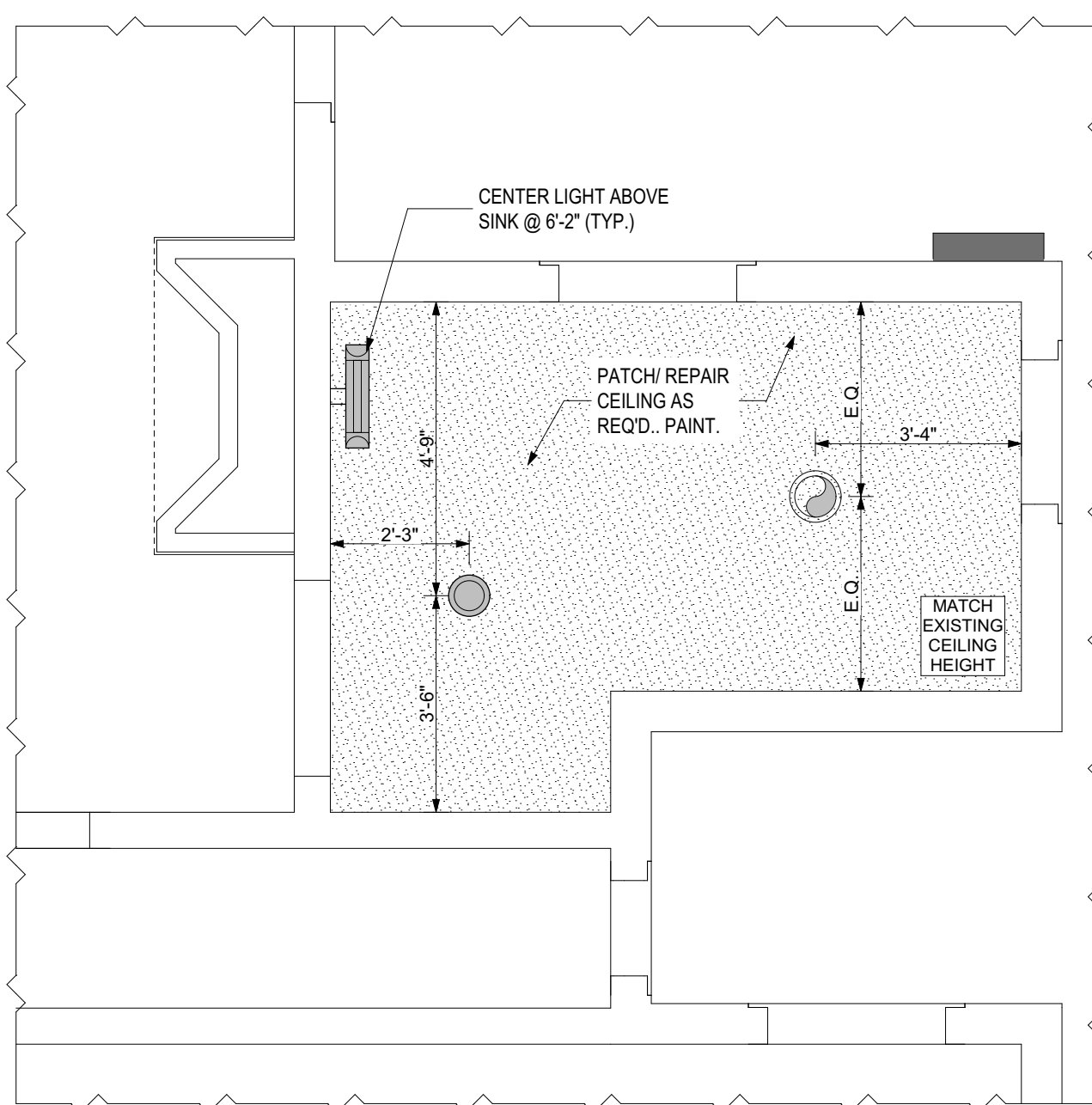
7 FIRST FLOOR REFLECTED CEILING PLAN
A4.1 SCALE: 3/8" = 1'-0"



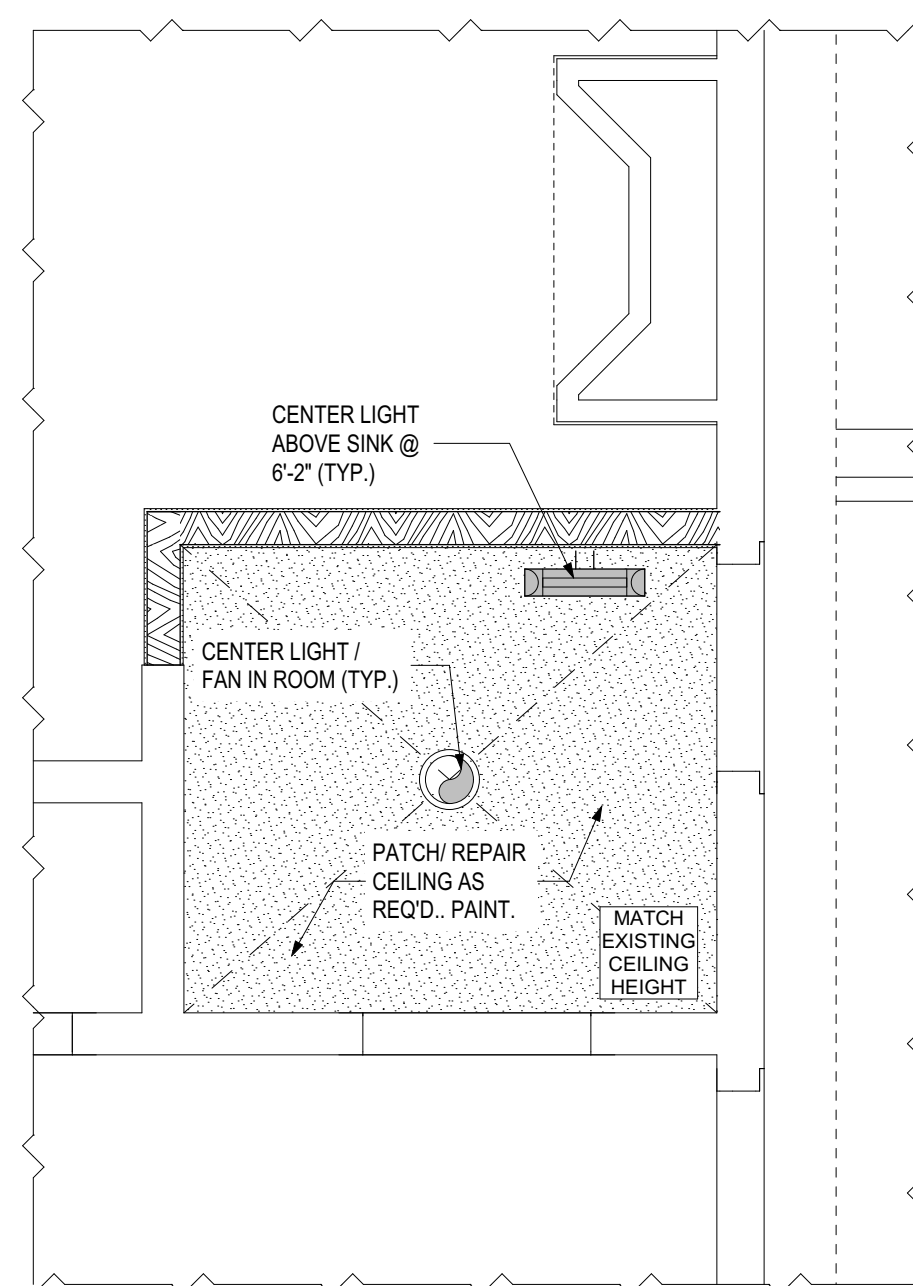
9 SECOND FLOOR REFLECTED CEILING PLAN
A4.1 SCALE: 3/8" = 1'-0"



11 TLT 211 RCP
A4.1 SCALE: 3/8" = 1'-0"



12 ADD ALT. No.1 - TLT 305 RCP
A4.1 SCALE: 3/8" = 1'-0"



13 ADD ALT. No.2 - TLT 307 RCP
A4.1 SCALE: 3/8" = 1'-0"

RCP GENERAL NOTES

1. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE TYPES, AND ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO ELECTRICAL AND MECHANICAL WORK.
2. COORDINATE SIZE AND LOCATION OF ALL ACCESS PANELS WITH TRADE REQUIRING THE SAME. ACCESS PANELS ARE SPECIFIED ARCHITECTURALLY BUT ARE REQUIRED TO BE PROVIDED BY TRADE. SPOT ALL LOCATIONS WITHIN FIXED GYPSUM BOARD CEILINGS AND RECEIVE APPROVAL FROM THE ARCHITECT BEFORE PLACEMENT.
3. COORDINATE CEILING SUSPENSION SYSTEMS WITH OTHER CEILING SPACE EQUIPMENT SUPPORTS.
4. ALL SMOKE BARRIER PARTITIONS, HORIZONTAL EXIT ENCLOSURES AND FIRE RATED PARTITIONS WHICH EXTEND TO THE DECK ABOVE SHALL BE INDICATED ON SHEETS LS1.1, A1.1, A1.2, A2.1, AND 3.2 (SEE LEGEND).
5. PROVIDE SUPPORT BLOCKING, ABOVE GYPSUM BOARD CEILINGS, AS REQUIRED FOR MISCELLANEOUS SUSPENDED ITEMS WHERE REQUIRED.

RCP LEGEND OF SYMBOLS

	RECESSED LED FIXTURE
	EXHAUST FAN & LIGHT COMBO
	PENDANT LAMPS
	WALL MOUNTED FIXTURE
	WALL MOUNTED LAMPS
	EXISTING CEILING MOUNTED LIGHT FIXTURE TO REMAIN UNLESS OTHERWISE NOTED
	5/8" GYPSUM WALLBOARD CEILING
	SMOKE BARRIER PARTITIONS, HORIZONTAL EXIT ENCLOSURES OR FIRE RATED PARTITIONS WHICH EXTEND TO THE DECK ABOVE (SEE LIFE SAFETY)
	0'-0"
	MECHANICAL DIFFUSERS AND VENTS (SEE MECHANICAL DRAWINGS)

REFLECTED CEILING PLANS

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
RICHMOND COUNTY PUBLIC LIBRARY SYSTEM

APPLEBY BRANCH LIBRARY

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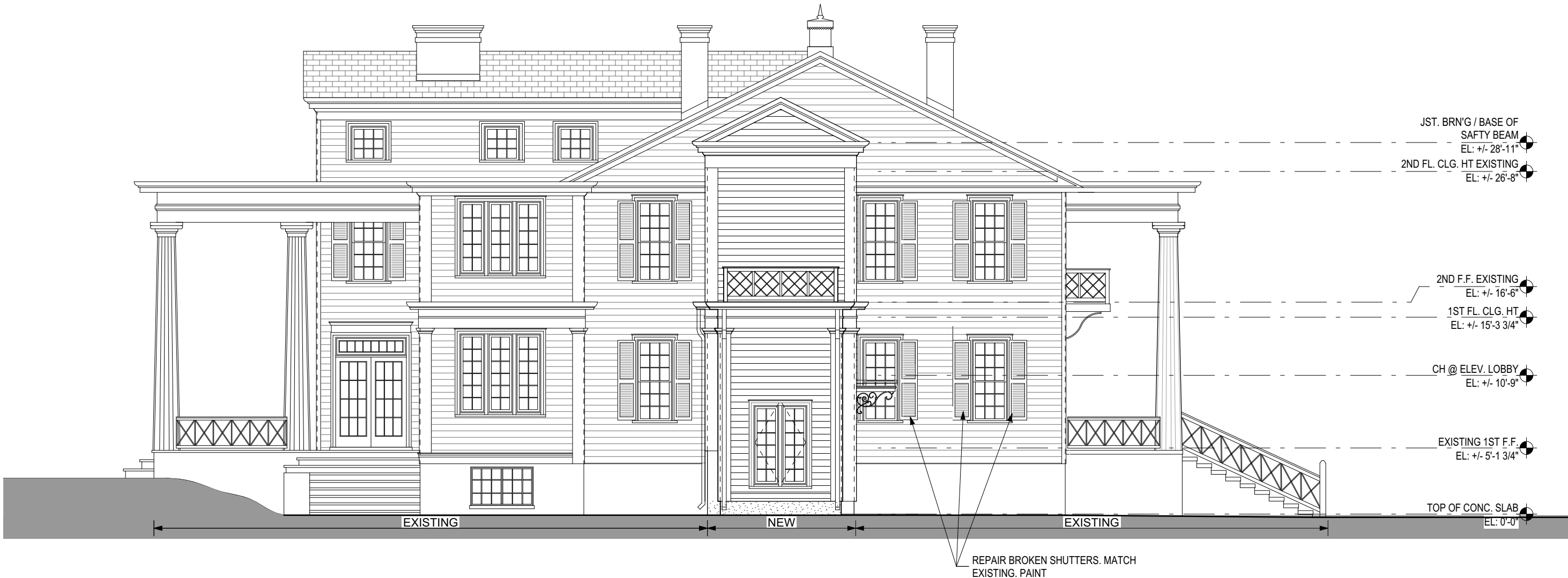
A4.1



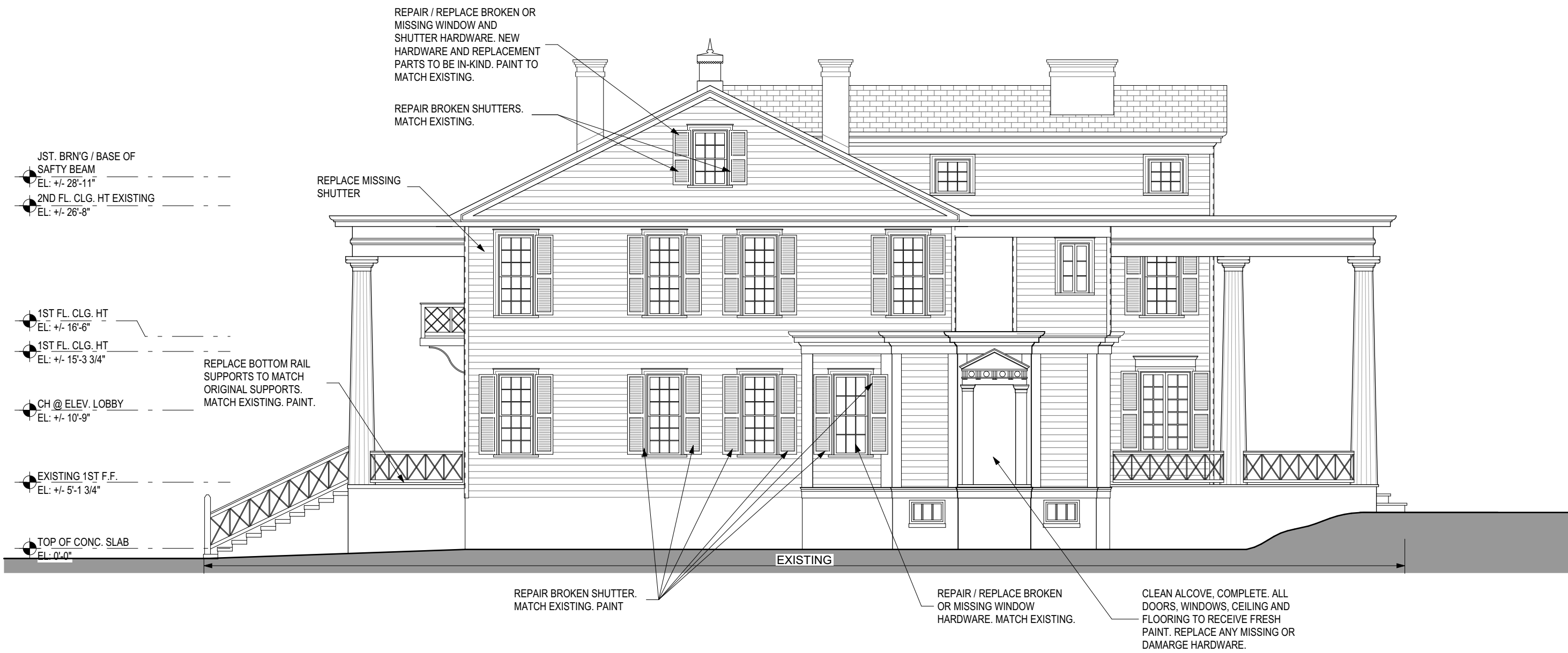
1 OVERALL NORTH ELEVATION - ADD ALT. No. 4
A6.1 SCALE: 1/8" = 1'-0"



6 OVERALL SOUTH ELEVATION - ADD ALT. No. 4
A6.1 SCALE: 1/8" = 1'-0"



3 OVERALL EAST ELEVATION - ADD ALT. No. 4
A6.1 SCALE: 1/8" = 1'-0"



8 OVERALL WEST ELEVATION - ADD ALT. No. 4
A6.1 SCALE: 1/8" = 1'-0"

OVERALL EXTERIOR RENOVATION NOTES

NOTE : ALL EXTERIOR RENOVATION NOTES BELOW PERTAIN TO ADD ALT. No. 4

- THOROUGHLY CLEAN ALL WOOD SIDING, SOFFITS, TRIM, ETC. IN PREPARATION FOR NEW PAINT FINISH. PAINT. NEW PAINT FINISH TO MATCH EXISTING.
- CAREFULLY AND THOROUGHLY INSPECT AND CLEAN ALL WOOD SIDING, FASCIA, FRIEZE, TRIM, MOULDING, SOFFITS, ETC.. PATCH, REPAIR, OR REPLACE ALL DAMAGED OR DETERIORATED SECTIONS WITH IN-KIND MATERIALS. PREPARE ALL SURFACES TO RECEIVE NEW PAINT. PAINT, MATCH EXISTING.
- GENTLY AND THOROUGHLY INSPECT AND CLEAN ALL STUCCO FINISH AT WATER TABLE TO REMOVE ALL STAINING AND VEGETATION GROWTH IN PREPARATION TO RECEIVE NEW PAINT FINISH. PATCH AREAS WITH DAMAGE. PAINT. NEW PAINT TO MATCH EXISTING.
- GENTLY AND THOROUGHLY CLEAN ALL STONE, TERRACOTTA, WOOD, AND BRICK PORCH FLOORING FINISHES. REPAIR OR REPLACE WITH IN-KIND MATERIALS WHERE DAMAGE IS FOUND. SAND AND CLEAN WOOD DECKING IN PREPARATION TO RECEIVE NEW PAINT. WOOD DECKING TO RECEIVE NEW PAINT. MATCH EXISTING.
- CAREFULLY INSPECT ALL EXISTING COLUMNS. REPAIR ALL AREAS THAT SHOW SIGNS OF WOOD DETERIORATION AND/ OR ROT. THOROUGHLY CLEAN ALL SURFACES TO REMOVE OLD PAINT, STAINING AND VEGETATION GROWTH. PREPARE ALL SURFACES IN PREPARATION FOR NEW PAINT FINISH. PAINT TO MATCH EXISTING.
- CAREFULLY INSPECT ALL EXISTING RAILINGS. REPAIR, OR REPLACE, ALL AREAS THAT SHOW SIGNS OF WOOD DETERIORATION AND/ OR ROT. THOROUGHLY CLEAN ALL SURFACES TO REMOVE OLD PAINT, STAINING, VEGETATION GROWTH AND SPLINTERING. ENSURE TOP RAIL HAS SMOOTH SURFACE. PREPARE ALL SURFACES IN PREPARATION FOR NEW PAINT FINISH.. PAINT TO MATCH EXISTING.
- THOROUGHLY CLEAN EXISTING METAL RAILING IN PREPARATION FOR NEW PAINT FINISH. PAINT TO MATCH EXISTING.
- CAREFULLY INSPECT ALL WOOD WINDOWS FRAMES, SASHES, MULLIONS, MUNTINS, SILLS, HEADS, ETC. REPAIR OR REPLACE DAMAGED OR MISSING ELEMENTS WITH IN-KIND MATERIALS. THOROUGHLY CLEAN ALL SURFACES IN PREPARATION TO RECEIVE NEW PAINT FINISH. PAINT, MATCH EXISTING.
- THOROUGHLY CLEAN PORCH CEILING AND PREPARE SURFACE TO RECEIVE NEW PAINT FINISH. NEW PAINT TO MATCH EXISTING.
- THOROUGHLY CLEAN ALL EXTERIOR DOORS AND PREPARE SURFACE TO RECEIVE NEW PAINT FINISH. REPAIR ANY PLACES WITH DAMAGE. PAINT. NEW PAINT TO MATCH EXISTING.
- REMOVE ALL ABANDONED GUTTER SYSTEMS, COMPLETE. PATCH, REPAIR AND PAINT ALL SURFACES DAMAGED IN THE REMOVAL. MATCH EXISTING.
- THOROUGHLY CLEAN ALL WOOD SHUTTERS AND PREPARE SURFACE TO RECEIVE NEW PAINT FINISH. REPAIR ANY PLACES WITH DAMAGE. REPAIR/ REPLACE ANY DAMAGED OR MISSING HARDWARE WITH IN-KIND. PAINT SHUTTERS. NEW PAINT TO MATCH EXISTING.
- SEE NOTES ON ELEVATIONS FOR SPECIFIC ITEMS TO BE ADDRESSED.



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OVERALL BUILDING ELEVATIONS

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
RICHMOND COUNTY PUBLIC LIBRARY SYSTEM

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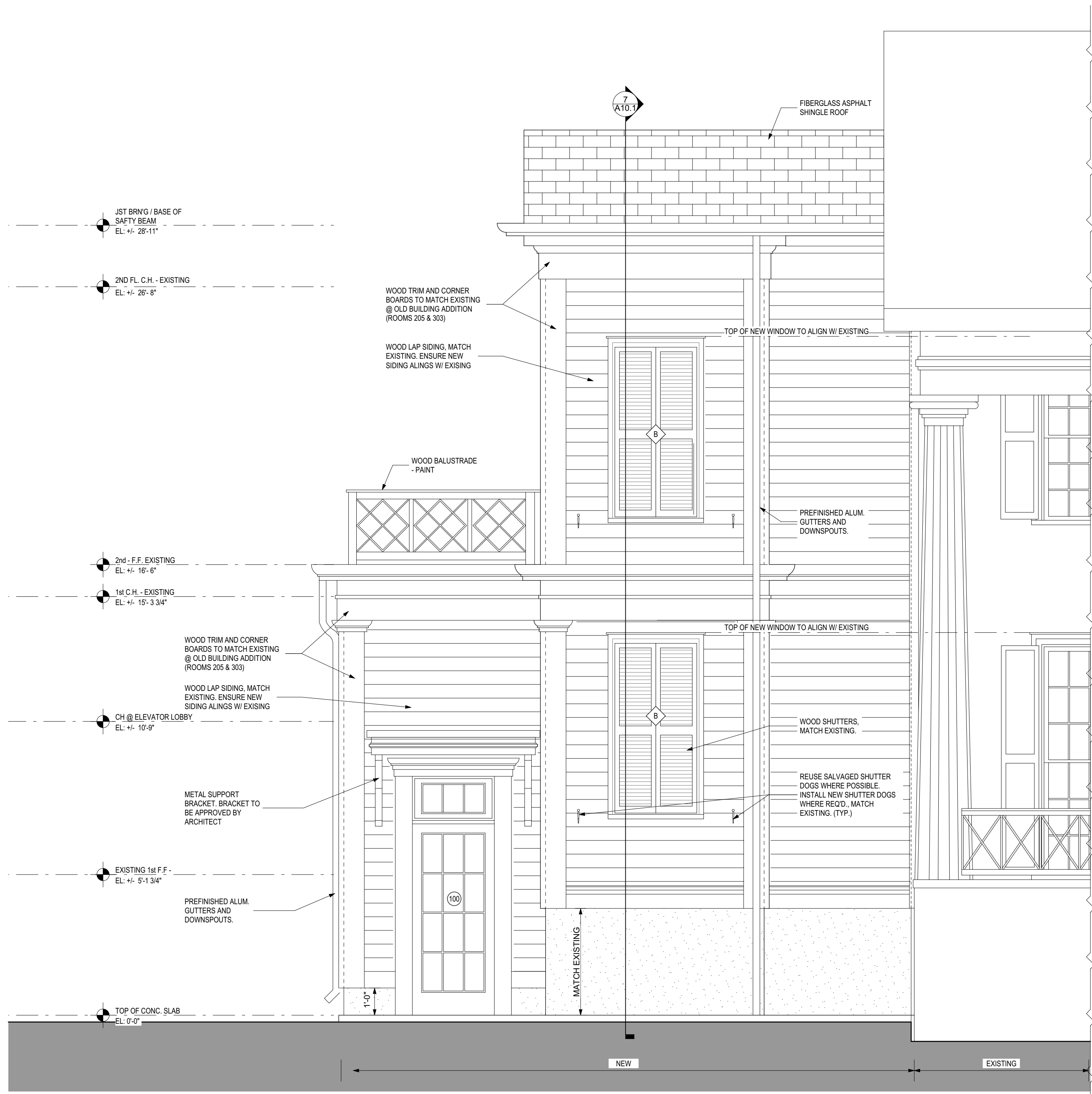
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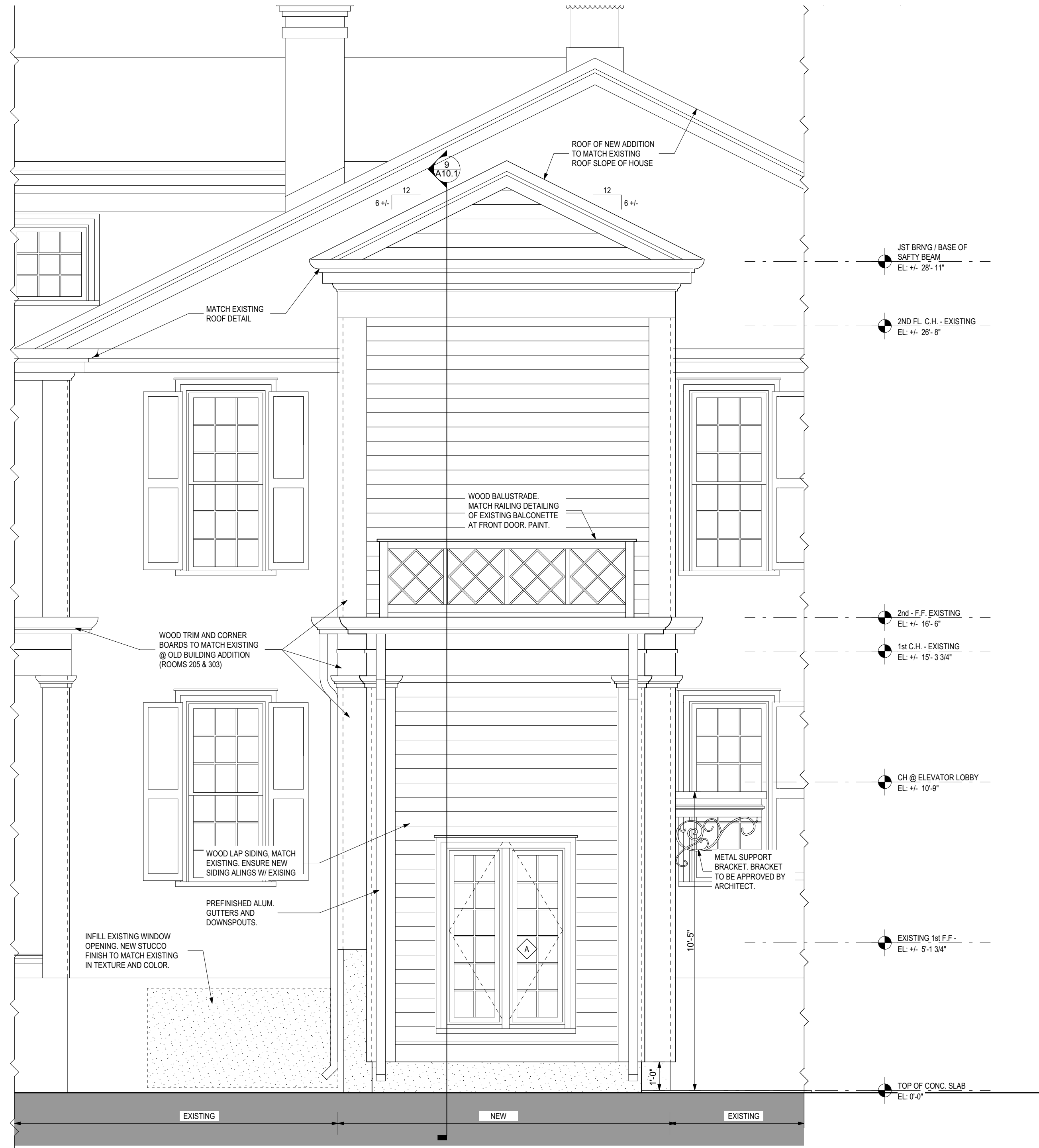
A6.1



11
A6.2

ENLARGED NORTH ELEVATION

SCALE: 3/8" = 1'-0"



13
A6.2

ENLARGED EAST ELEVATION

SCALE: 3/8" = 1'-0"



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ENLARGED EXTERIOR ELEVATIONS

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
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A6.2



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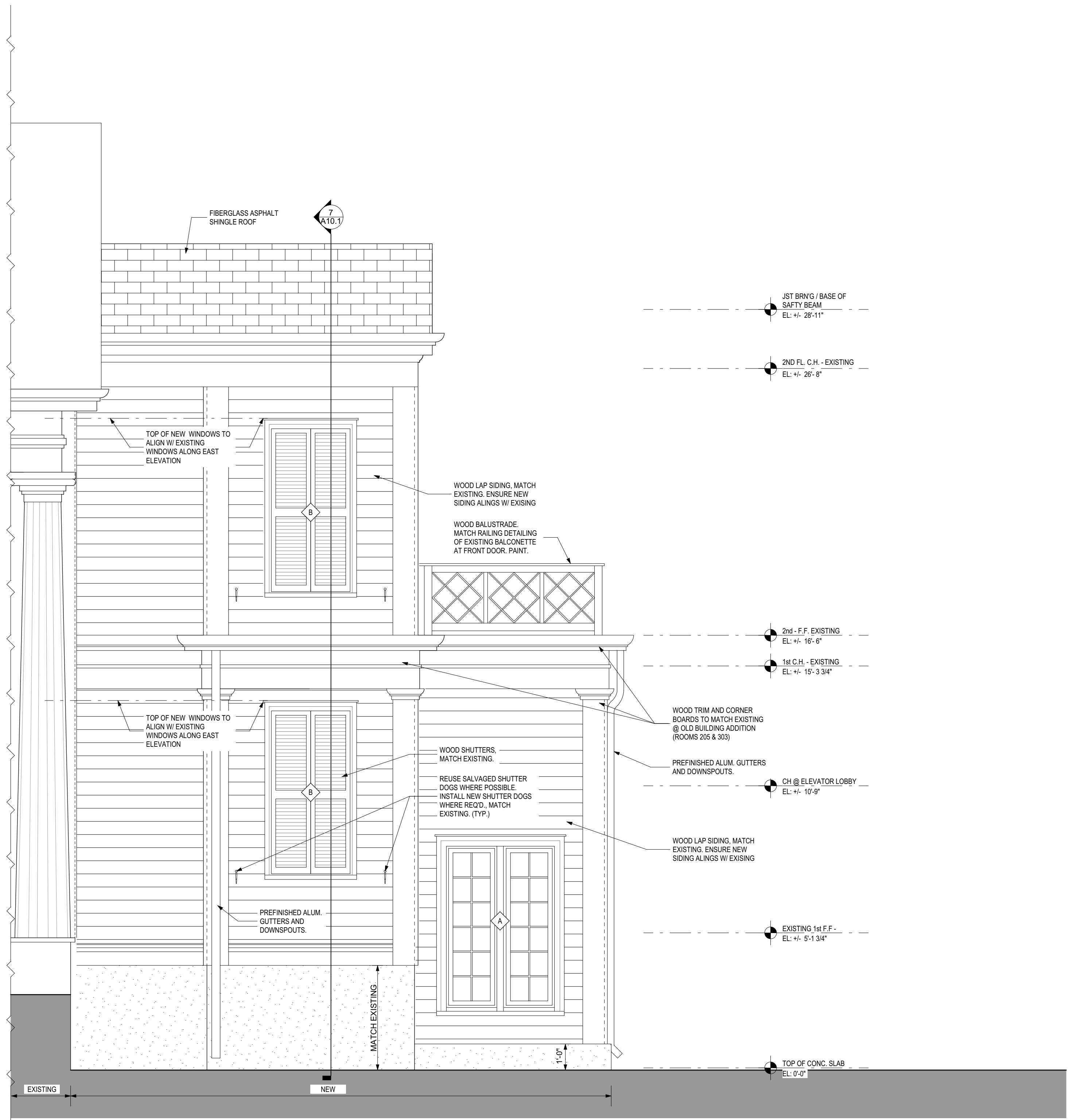
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A6.3



13
A6.3

ENLARGED SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



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DOOR AND WINDOW TYPES, SCHEDULES AND DETAILS

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
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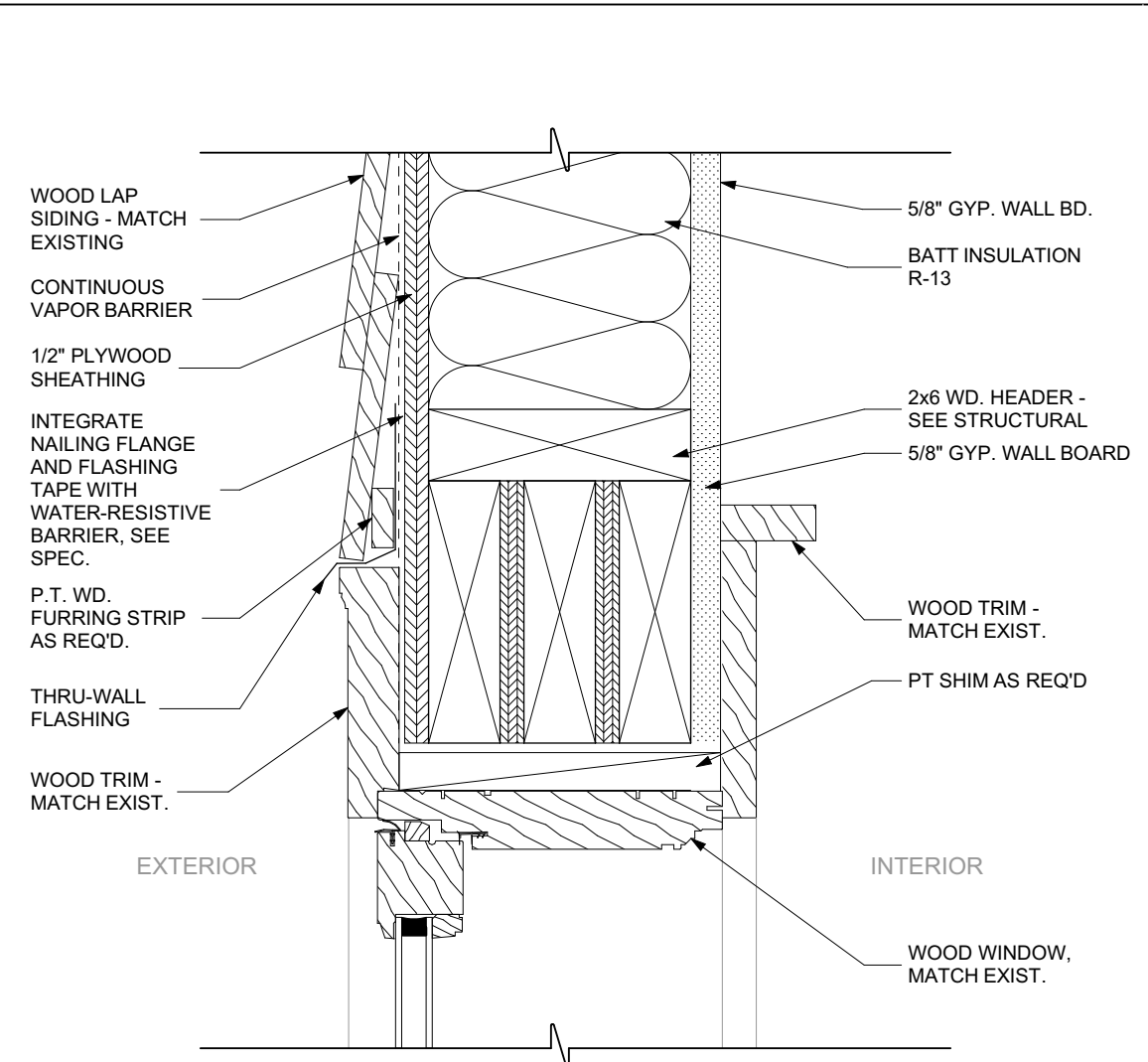
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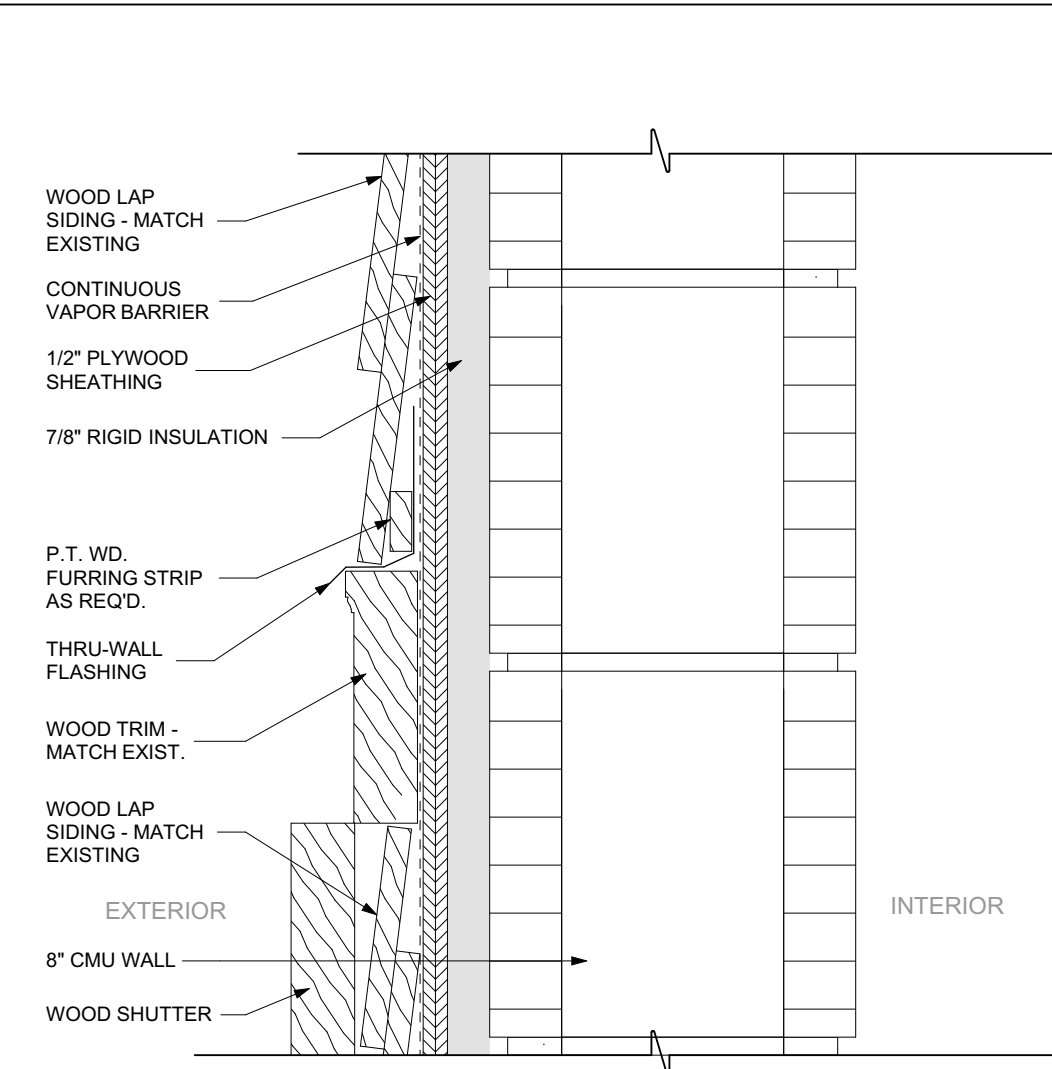
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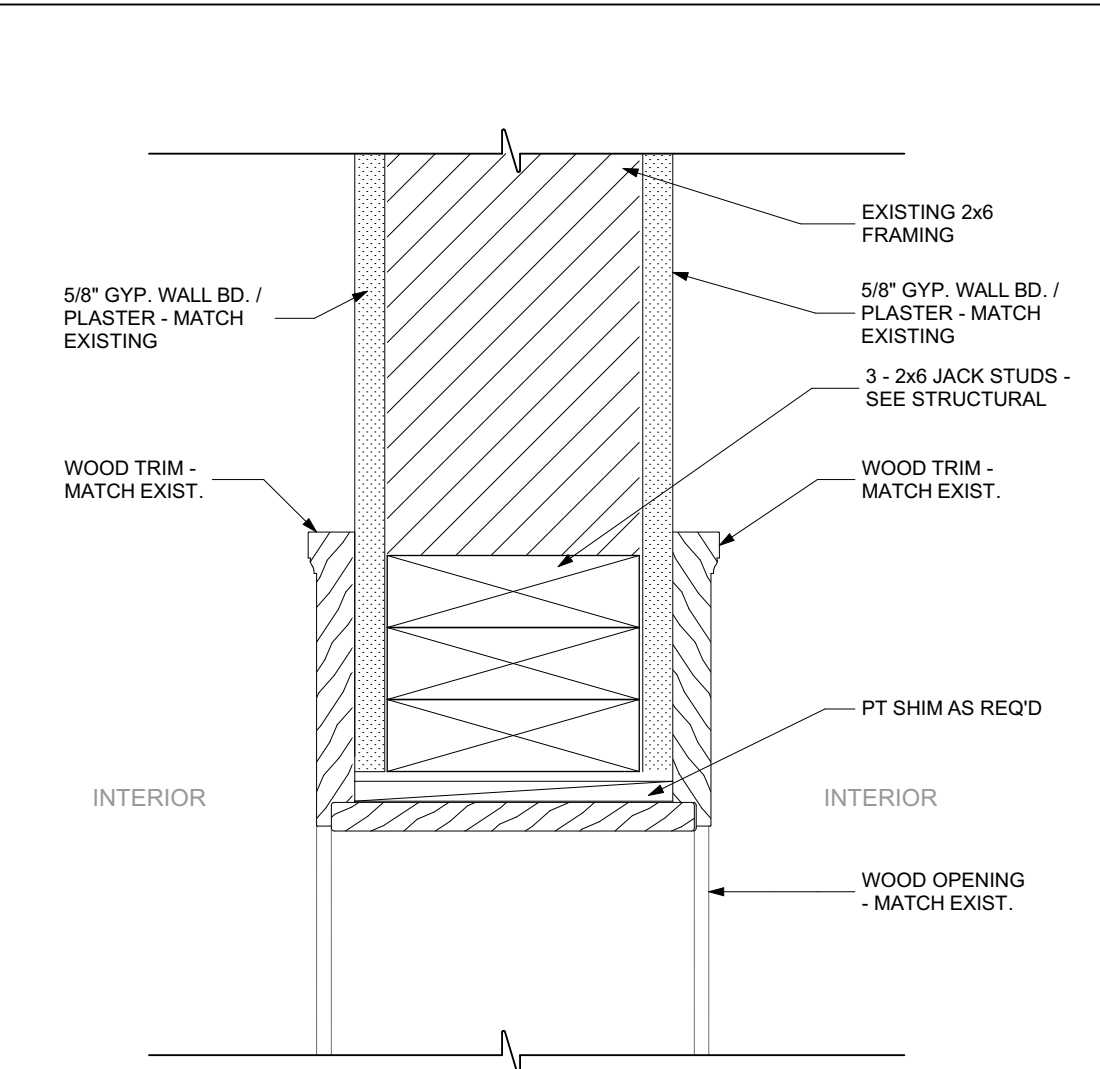
A7.1



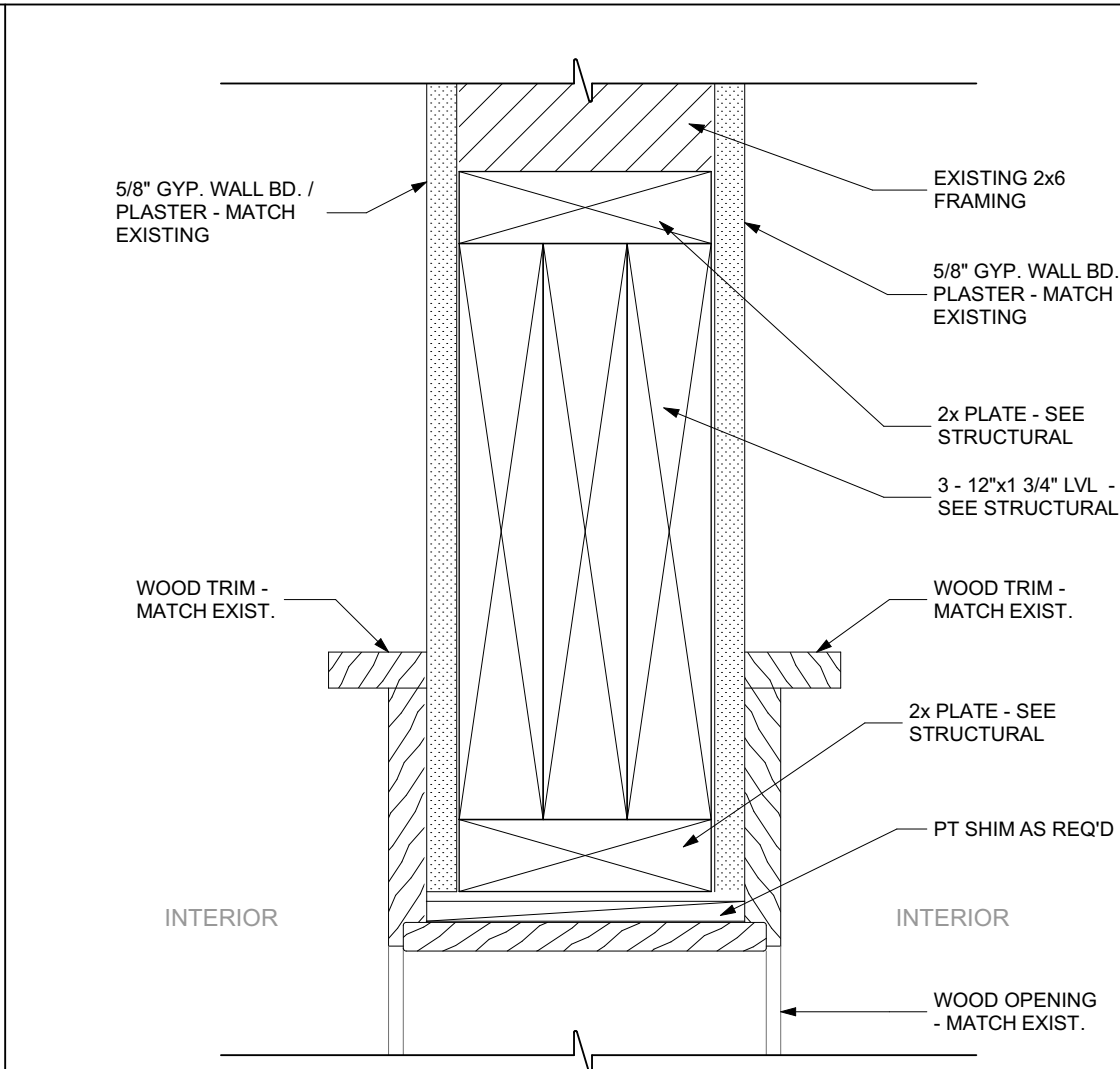
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A7.1 HEAD DETAIL
SCALE: 3" = 1'-0"



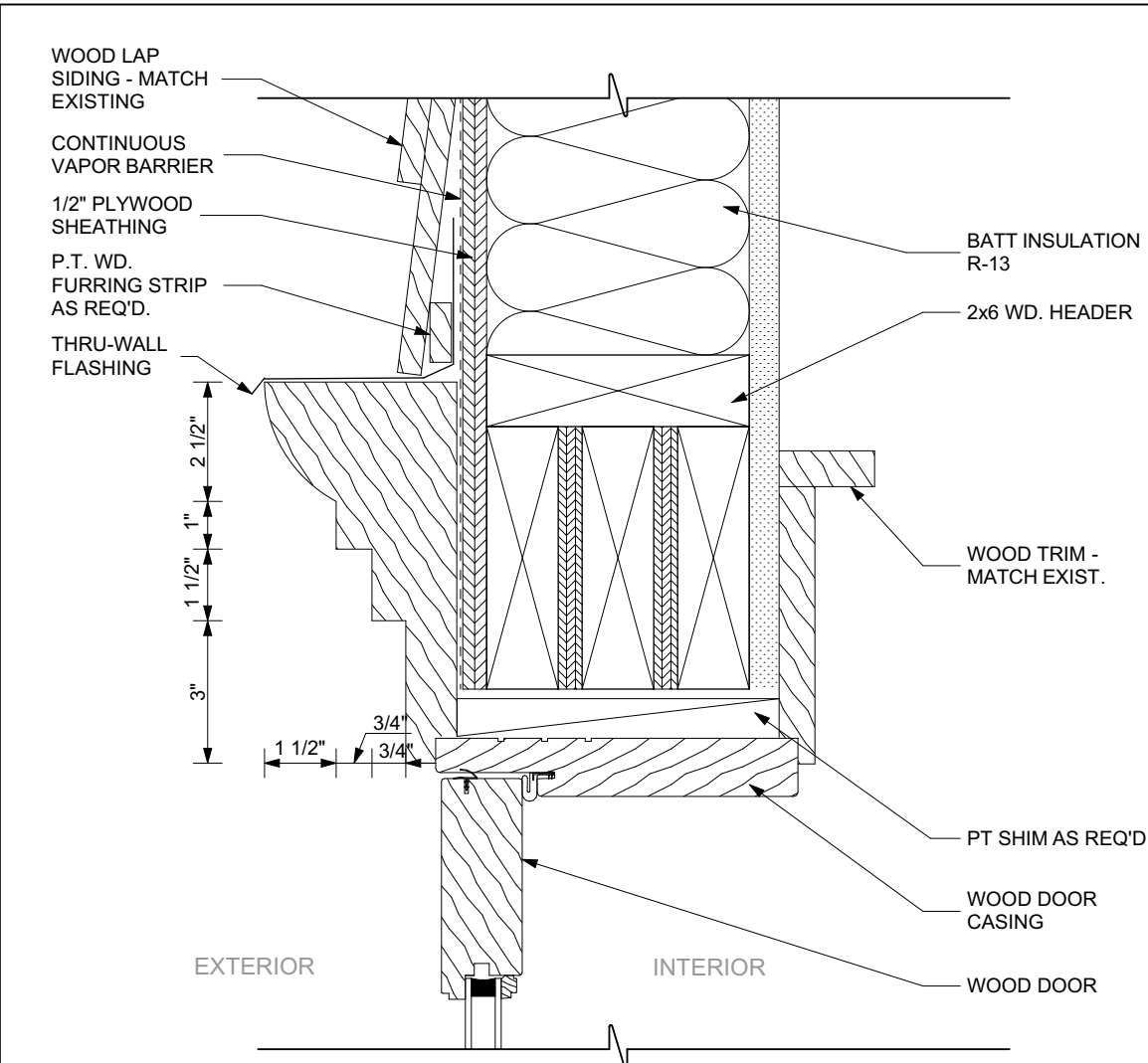
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A7.1 HEAD DETAIL
SCALE: 3" = 1'-0"



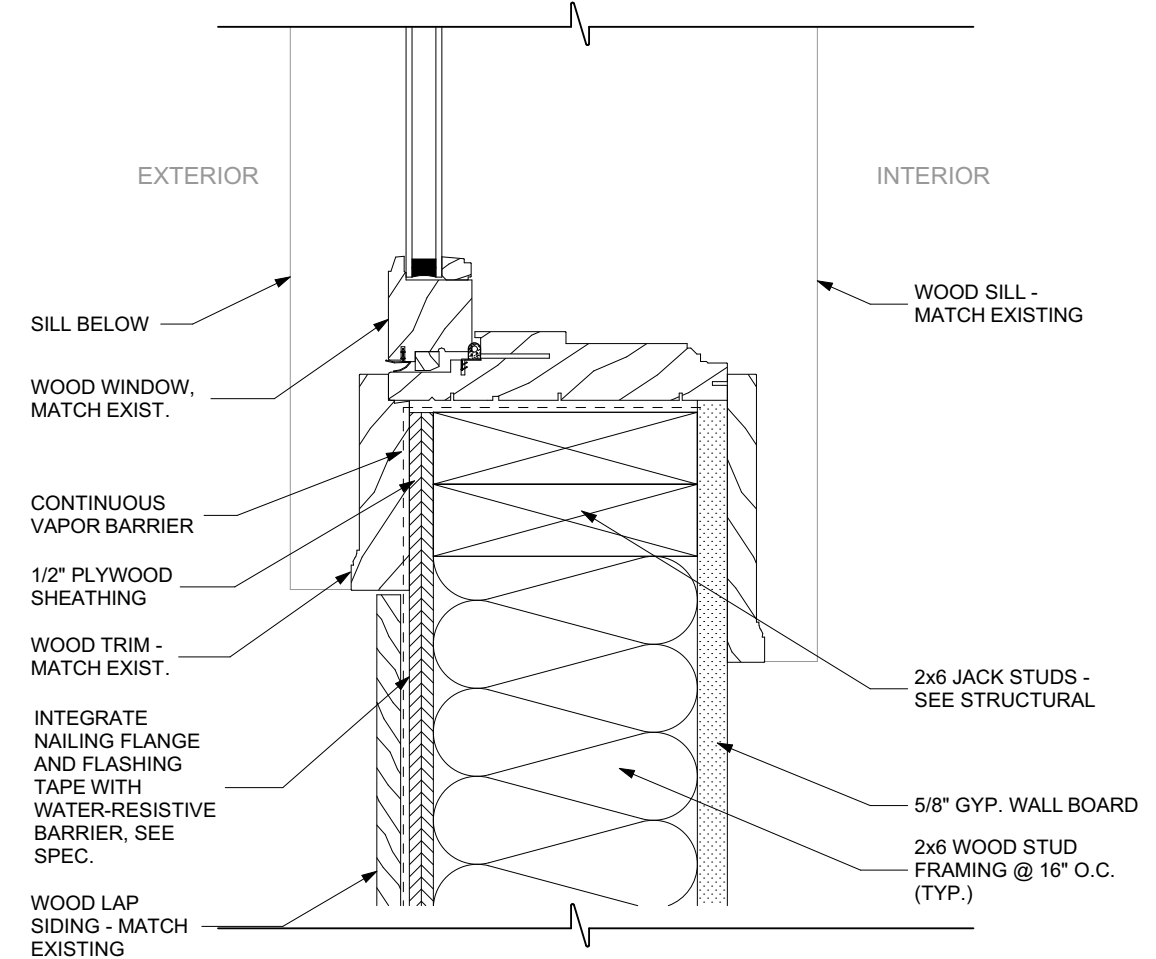
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A7.1 JAMB DETAIL
SCALE: 3" = 1'-0"



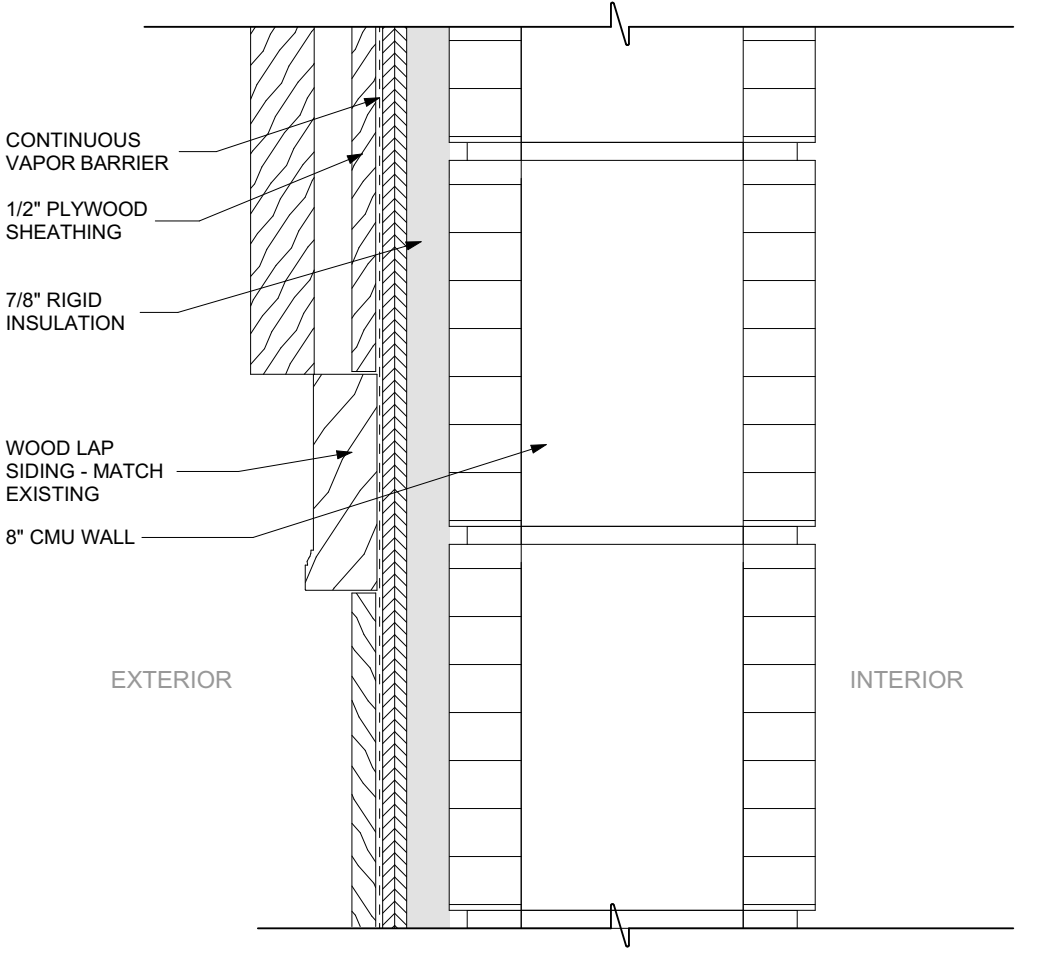
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A7.1 HEAD DETAIL
SCALE: 3" = 1'-0"



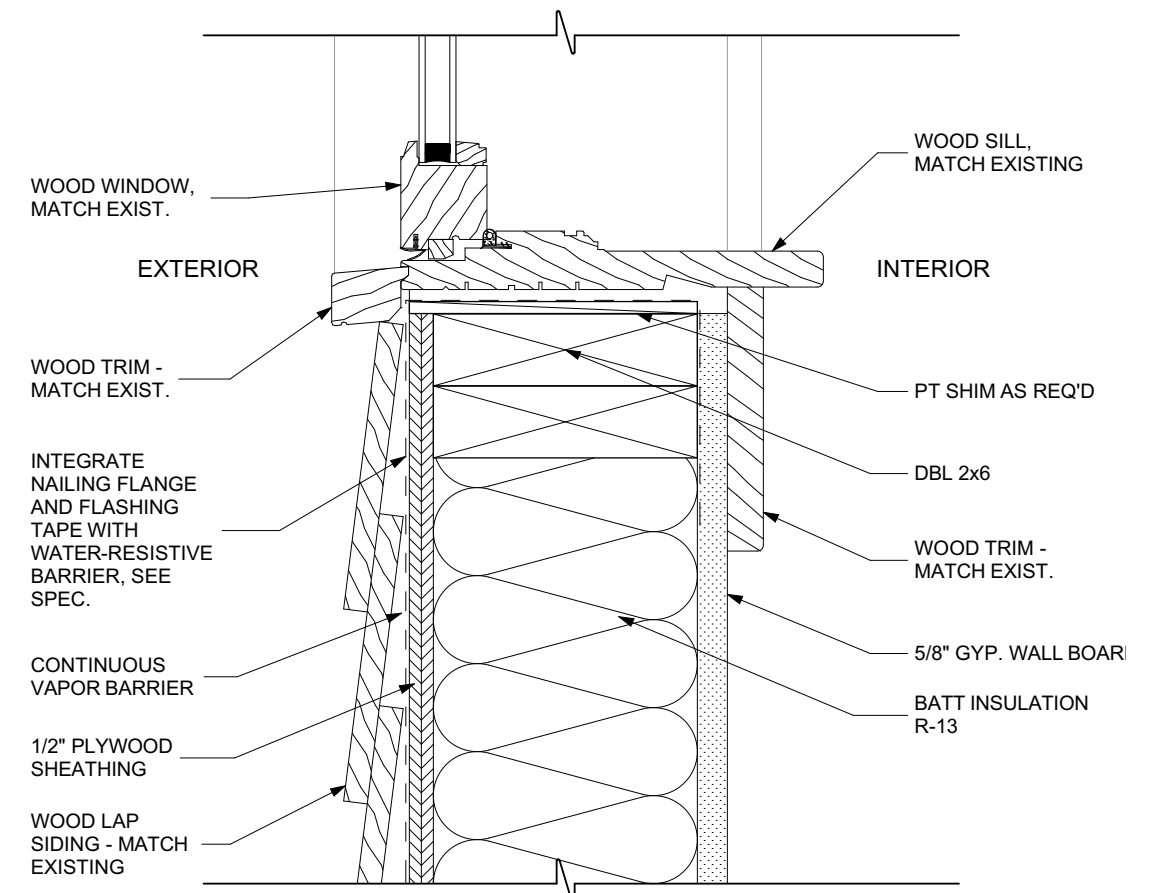
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A7.1 HEAD DETAIL
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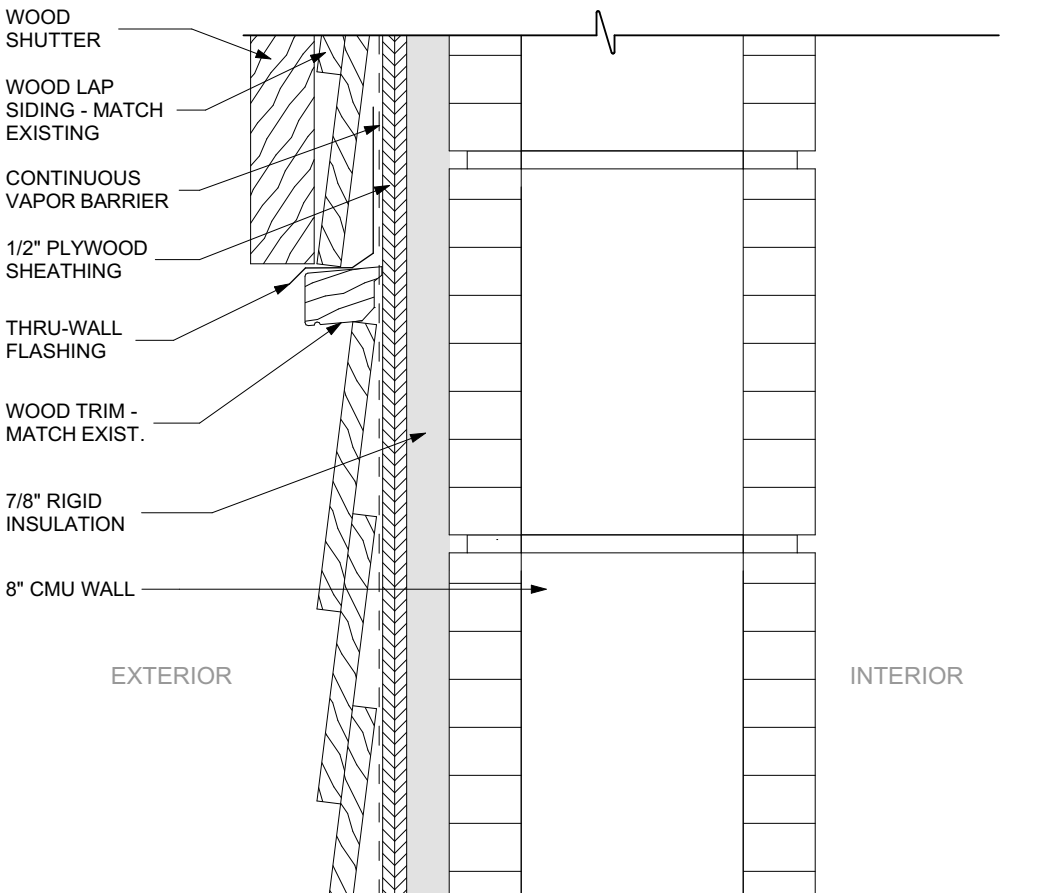
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A7.1 JAMB DETAIL
SCALE: 3" = 1'-0"



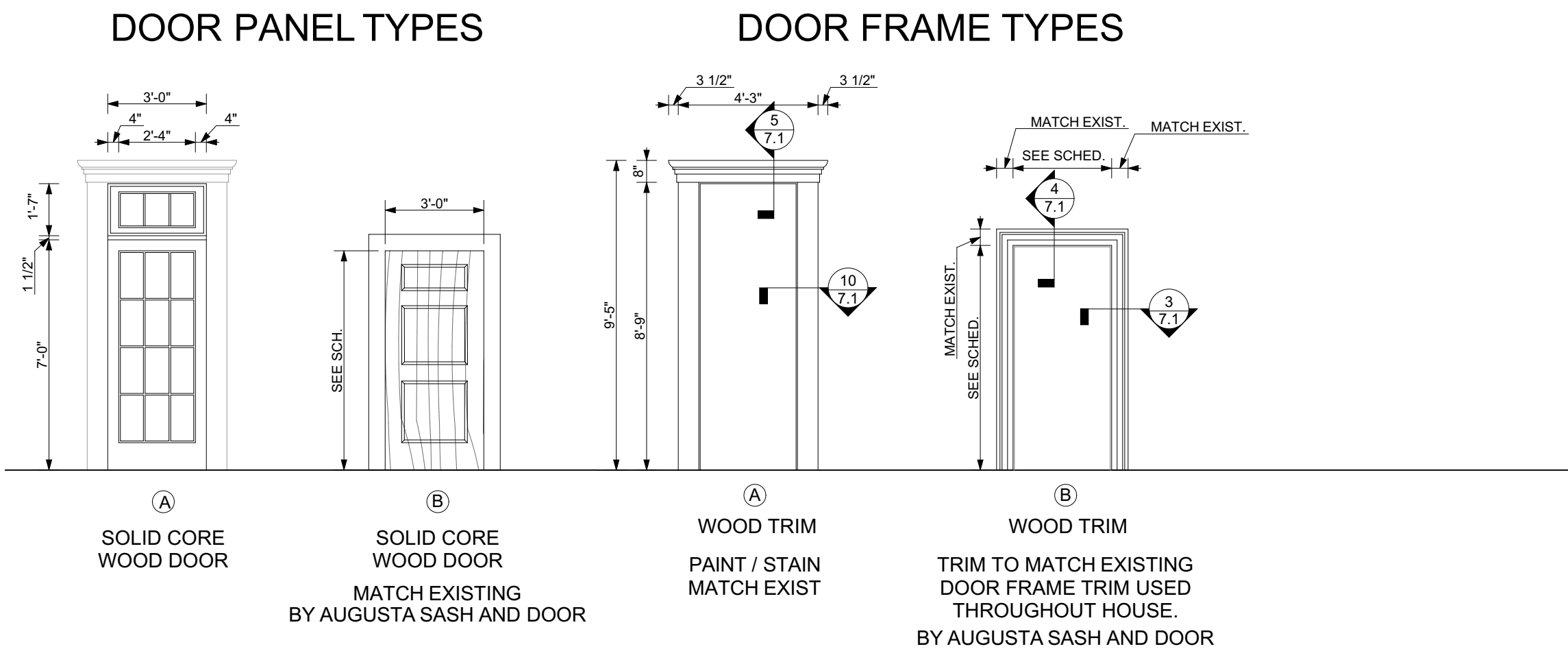
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A7.1 JAMB DETAIL
SCALE: 3" = 1'-0"



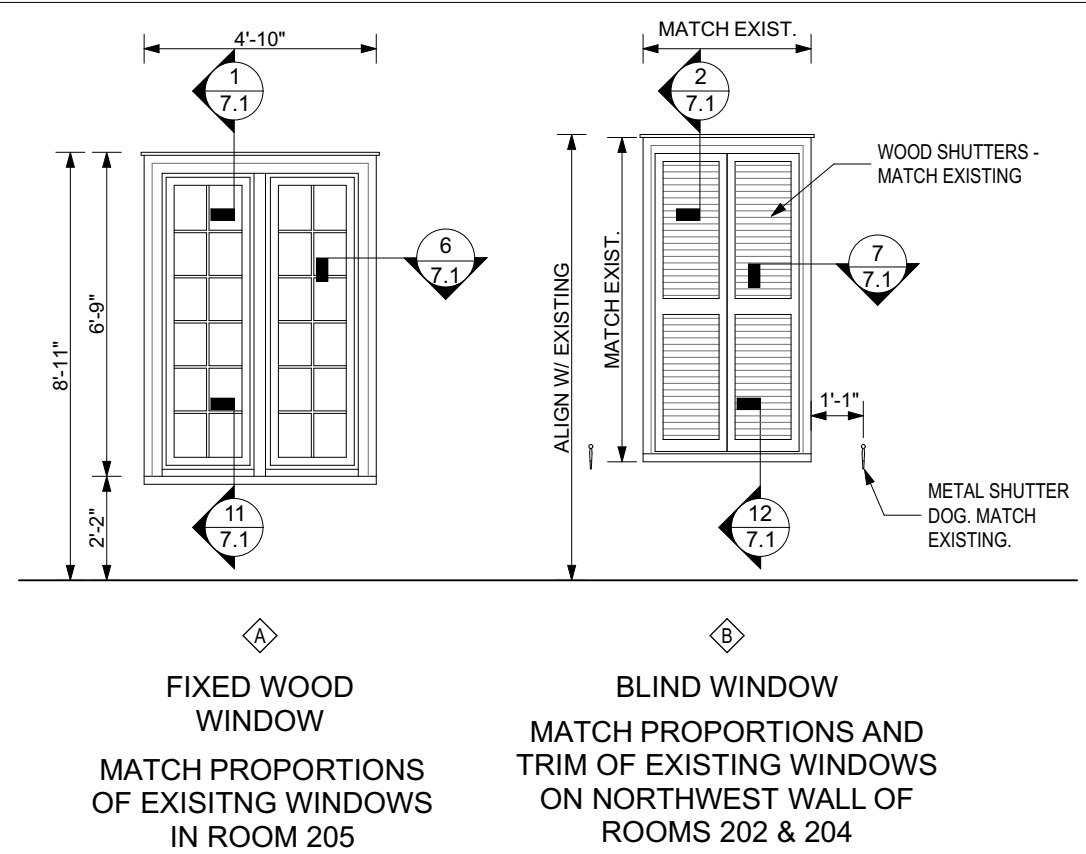
11
A7.1 SILL DETAIL
SCALE: 3" = 1'-0"



12
A7.1 SILL DETAIL
SCALE: 3" = 1'-0"



8
A7.1 DOOR PANEL & FRAME TYPES
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE											
DOOR	LOCATION	DOOR				FRAME			TYPE	FIRE RATING	NOTES
		SIZE			TYPE	DETAIL					
		W	HT	THK		HEAD	JAMB	SILL			
100	LOWEST LEVEL LOBBY	3'-0"	7'-0"	1 3/4"	A	5/ A7.1	10/ A7.1	15A/ A7.1	A	-	1
202	CIRCULATION AREA	10'-0"	MATCH EXIST.	-	-	15/ A7.1	3/ A7.1	-	B	-	2
203	FIRST FLOOR LOBBY	4'-8"	MATCH EXIST.	-	-	4/ A7.1	3/ A7.1	-	B	-	2
210	READING ROOM 210	4'-0"	7'-0"+/-	-	-	14/ A11.2	3/ A7.1 (SIM.)	-	B	-	4
211	TLT 211	3'-0"	6'-8"	-	B	4/ A7.1 (SIM.)	3/ A7.1 (SIM.)	-	B	-	3
302	SECOND FLOOR LOBBY	4'-8"	MATCH EXIST.	-	-	4/ A7.1	3/ A7.1	15B/ A7.1	B	-	2

NOTES:
1. DOOR TO RECEIVE DOOR HARDWARE SET 1
2. NO DOOR. NEW OPENING TO MATCH HEIGHT OF EXISTING OPENING
3. DOOR TO RECEIVE DOOR HARDWARE SET 2
4. ENSURE FINISHED HEIGHT OF OPENING SITS ABOVE DOOR TRIM FOR DOOR 211. SEE INTER. ELEVATIONS FOR DETAILS.



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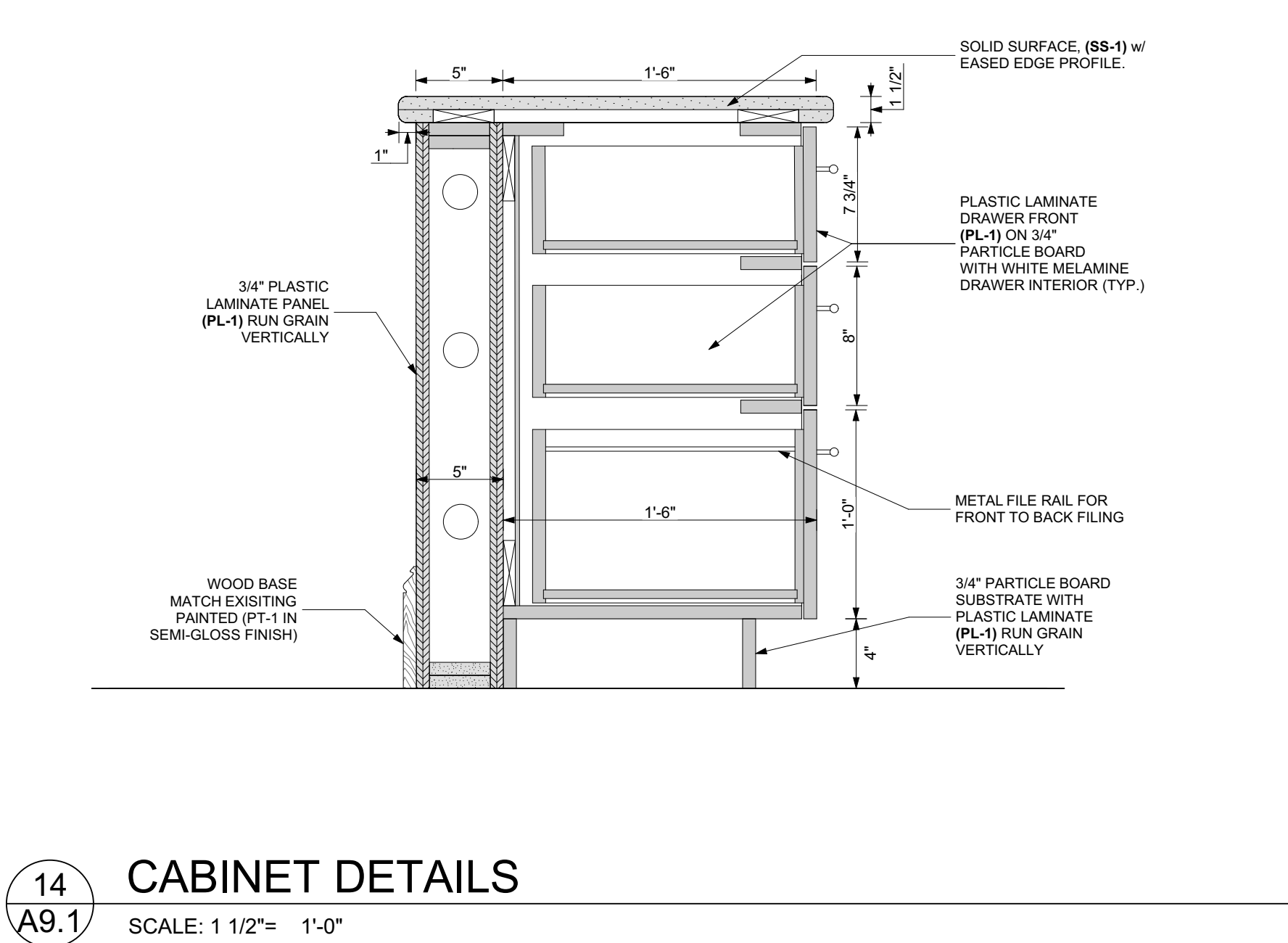
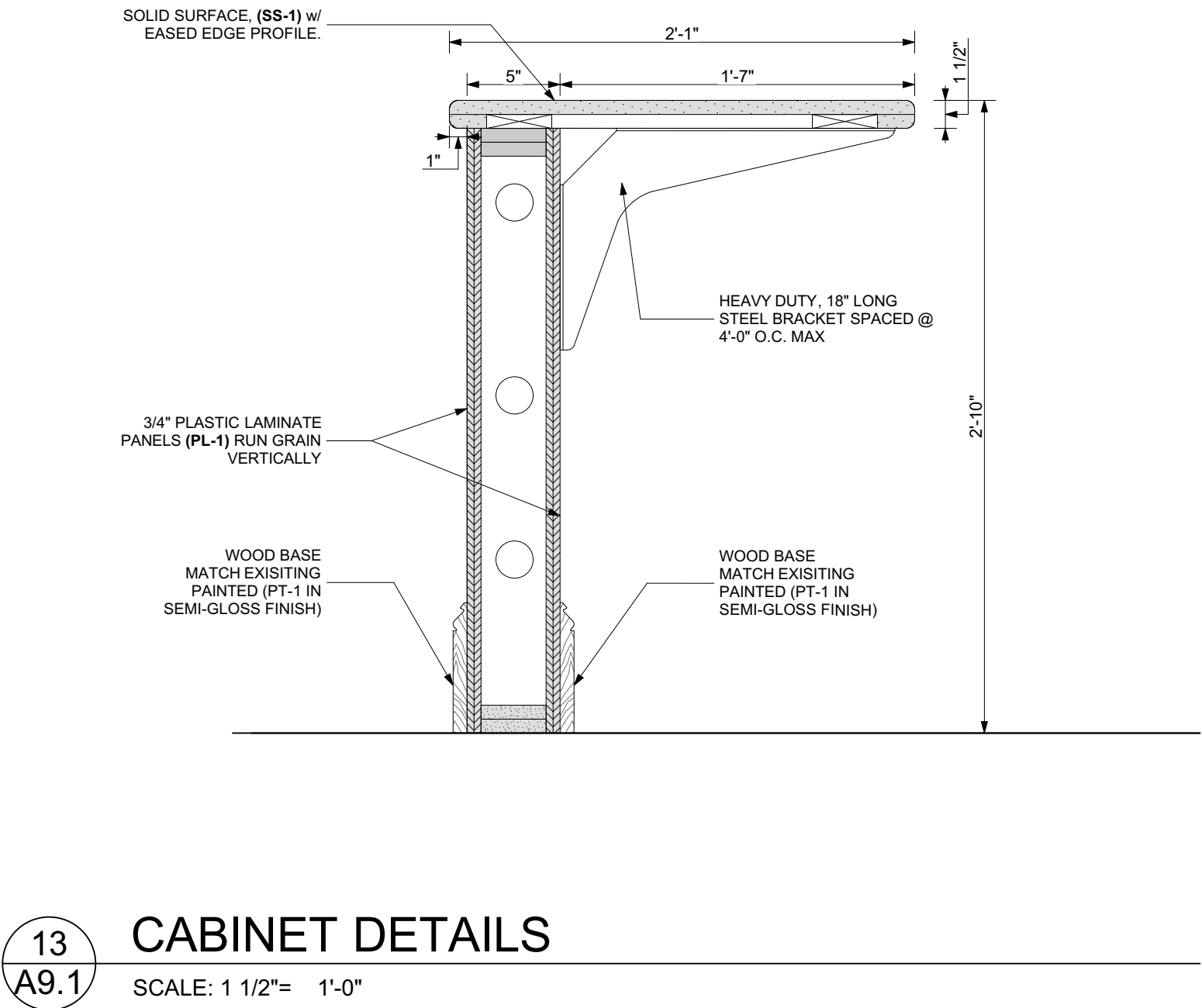
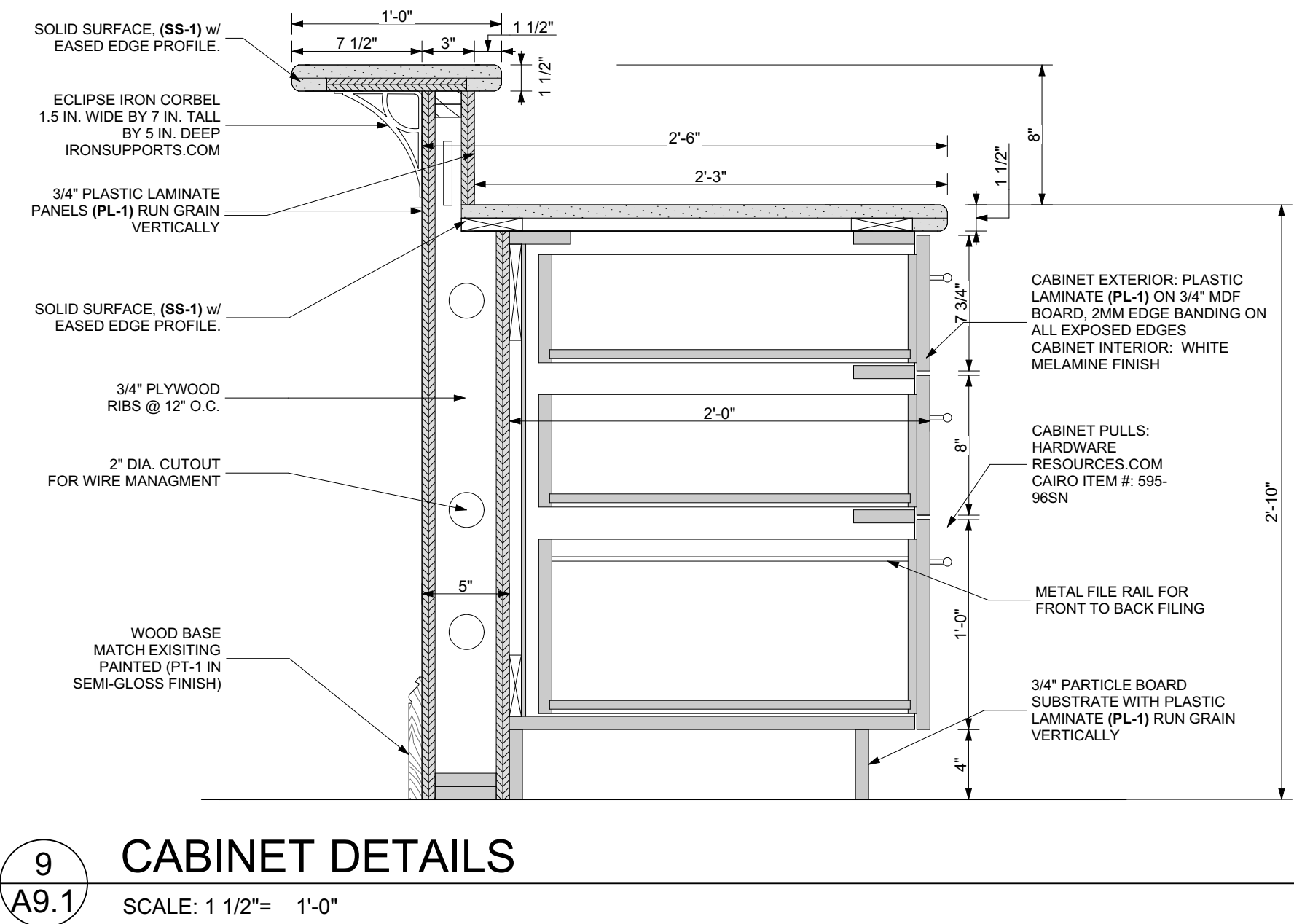
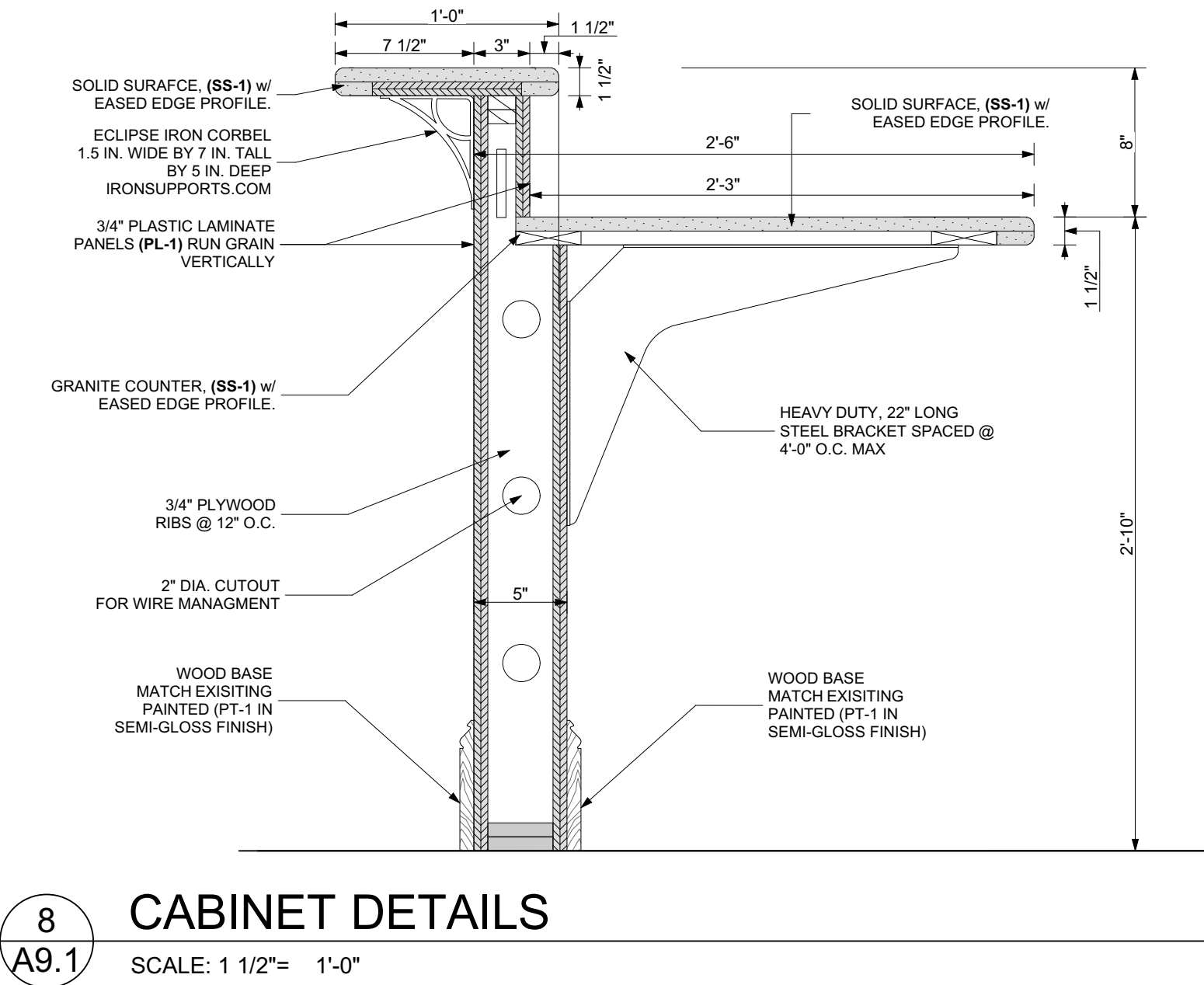
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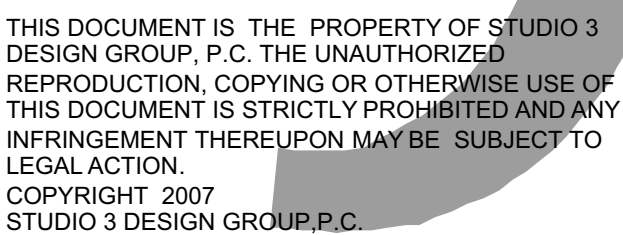
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A11.2

11
A11.2

EVE DETAIL

SCALE: 1 1/2"= 1'-0"

7
A11.2

EVE DETAIL @ TPO ROOF

SCALE: 1 1/2"= 1'-0"

8
A11.2

EVE DETAIL

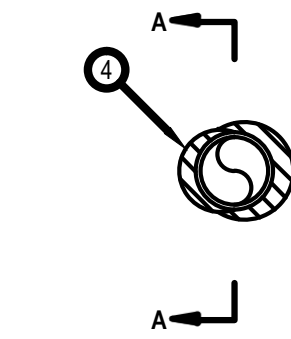
SCALE: 1 1/2"= 1'-0"

10
A11.2

RAKE DETAIL

SCALE: 1 1/2"= 1'-0"

14 SOFFIT DETAIL
A11.2 SCALE: 3" = 1'-0"



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EXIST. WD TRIM DETAIL

SCALE: 3" = 1'-0"



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ADD ALT. FINISH PLANS

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GENERAL NOTES

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PROJECT NOTES

<div>GENERAL</div> <div>1. THESE NOTES SUMMARIZE PROJECT INFORMATION. PLANS, AND DETAILS SHALL ALSO BE REFERENCED FOR COMPLETE REQUIREMENTS.</div> <div>2. REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONAL CONTROL.</div> <div>3. REQUIREMENTS GIVEN FOR ONE LOCATION SHALL ALSO APPLY AT OTHER LOCATIONS WITH SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.</div> <div>4. CONTRACTOR SHALL COORDINATE WORK OF OTHER TRADES WITH STRUCTURAL WORK. SHOP DRAWINGS SHALL BE SUBMITTED WITH ALL INTERFERENCES AND CONFLICTS, NOT RESOLVED BETWEEN DISCIPLINES, NOTED FOR INSTRUCTIONS. ANY CONFLICTS THAT ARISE FROM WORK COMPLETED WITHOUT COORDINATED SHOP DRAWINGS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.</div> <div>5. DESIGN LOADS<div>A. BUILDING CODE: INTERNATIONAL BUILDING CODE, 2018 EDITION SECTION 2308 - CONVENTIONAL LIGHT FRAME CONSTRUCTION.</div><div>B. DEAD LOAD ACTUAL WEIGHT OF MATERIALS USED</div><div>C. LIVE LOAD ROOF = 20 PSF GROUND SNOW LOAD, Pg, = 5 PSF BUILDING CATEGORY: II</div><div>D. WIND LOAD BUILDING RISK CATEGORY: II BASIC WIND SPEED = 115 MPH WIND EXPOSURE CATEGORY = B INTERNAL PRESSURE COEFFICIENT, Gcpi = 0.18</div><div>E. EARTHQUAKE LOAD (EQUIVALENT LATERAL FORCE ANALYSIS) IMPORTANCE FACTOR, Ie, = 1.00 BUILDING RISK CATEGORY = II Sds = 0.257 Sd1 = 0.151 SITE CLASS D - ASSUMED SEISMIC DESIGN CATEGORY C</div></div> <div><div>EARTHWORK</div><div>1. STRIP AND STOCK PILE ALL ORGANIC TOPSOIL PRIOR TO GRADING OPERATIONS OR CONSTRUCTION. TOPSOIL SHALL BE STOCKPILED FOR LATER USE AS INDICATED BY PROJECT SPECIFICATIONS. PROJECT GEOTECHNICAL ENGINEER SHALL VERIFY REMOVAL OF TOPSOIL.</div><div>2. PROOF ROLL BUILDING AREA AND 10 FEET BEYOND PRIOR TO FILLING OR CONSTRUCTION. AREAS THAT EXHIBIT PUMPING SHALL BE CORRECTED AS INDICATED IN THE PROJECT SPECIFICATIONS.</div><div>3. EXTREME CARE SHALL BE EXERCISED WHEN EXCAVATING OR GRADING ADJACENT TO EXISTING STRUCTURES OR IMPROVEMENTS SO AS NOT TO DAMAGE OR UNDERMINE FOUNDATIONS, WALLS, SLABS, UTILITIES ETC.</div><div>4. STRUCTURAL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8" THICK AND SHOULD BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN 3% OF OPTIMUM MOISTURE CONTENT. PROJECT GEOTECHNICAL ENGINEER SHALL OBSERVE STRUCTURAL FILL PLACEMENT AND PERFORM COMPACTION TEST ON EACH 5,000 SQUARE FEET OF FILL FOR EACH FILL LAYER. COMPACTION SHALL BE VERIFIED AT THE BOTTOM OF FOOTING PER THE FOLLOWING SCHEDULE:<div>A. ONE TEST FOR EACH SPREAD FOOTING</div><div>B. ONE TEST FOR EACH 100 LINEAR FEET OF CONTINUOUS FOOTING</div></div><div>5. DESIGN SOIL PRESSURE = 1,500 PER CSRA ENGINEERING GEOTECHNICAL REPORT DATED JUNE 28, 2021</div></div>	<div>CONCRETE</div> <div>1. CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-14.</div> <div>2. CONCRETE SHALL BE AS FOLLOWS:<table><tr><th>LOCATION</th><th>28 DAY STRENGTH</th><th>MIN CEMENT CONTENT</th><th>SLUMP</th><th>MAX AGG. SIZE</th></tr><tr><td>FOOTINGS</td><td>3000 PSI</td><td>5.5 BAG/YD</td><td>4" ±1"</td><td>1 ½"</td></tr><tr><td>SLAB ON GRADE</td><td>4000 PSI</td><td>6.3 BAG/YD</td><td>3" ±1"</td><td>¾"</td></tr></table><div>FLY ASH PER ASTM C618, TYPE C OR F SHALL BE PERMITTED WITHIN THE FOLLOWING LIMITS: -RATE OF REPLACEMENT SHALL BE 125 TO 15 LBS OF FLY ASH TO 10 LBS OF CEMENT. QUANTITY OF CEMENT REPLACED SHALL BE NO MORE THAN 15%.</div><div>3. GROUT FOR MASONRY WALLS SHALL COMPLY WITH ASTM-C476, GROUT FOR REINFORCED MASONRY. AGGREGATES SHALL COMPLY WITH ASTM-C404. GROUT SHALL BE "COURSE GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.</div><div>4. REINFORCING SHALL COMPLY WITH ASTM-A615, GRADE 60. WELDED WIRE FABRIC (WWF) SHALL BE PER ASTM-A185. WWF LAPS SHALL BE A MINIMUM OF 8". ALL REINFORCING STEEL, DOWELS, ANCHOR BOLTS, INSERTS, ET. SHALL BE SECURELY TIED IN PLACE PRIOR TO POURING CONCRETE. CONCRETE BLOCKS ONLY SHALL BE USED TO SUPPORT REINFORCING (METAL STACKS OR RODS WILL NOT BE PERMITTED). SLAB REINFORCING SHALL BE ADEQUATELY SUPPORTED BY APPROVED CHAIRS TO MINIMIZE SAG.</div><div>5. FIELD WELDING OR BENDING OF REINFORCING IS NOT PERMITTED EXCEPT AS APPROVED BY THE STRUCTURAL ENGINEER.</div><div>6. POLYPROPYLENE FIBERS SHALL BE PER ASTM-C1116.</div><div>7. CHAMFER ALL EXPOSED CONCRETE EDGES 3/4" UNLESS NOTED OTHERWISE.</div><div>8. SHOP DRAWINGS FOR CONCRETE, REINFORCING AND EMBEDDED ITEMS SHALL BE SUBMITTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SHOP DRAWINGS SHALL BE SUBMITTED CONTRACTOR APPROVED.</div><div>9. CONTRACTOR SHALL NOTIFY ARCHITECT 24 HOURS TO BEGINNING FILL/BACKFILL OPERATIONS AND CONCRETE PLACEMENT. NOTIFICATIONS SHALL BE FOR OBSERVATION OF FORMWORK, REINFORCING AND EMBED ITEMS.</div><div>10. CONTRACTOR SHALL COORDINATE DEPTH OF FOOTINGS WITH PLUMBING PIPING. FOOTINGS SHALL BE STEPPED TO ALLOWING PIPE TO PASS OVER FOOTING UNLESS PIPING IS A MINIMUM OF 1'-4" BELOW BOTTOM OF FOOTING ELEVATION. FOOTINGS STEPS SHALL BE SHOWN ON SHOP DRAWINGS. TUNNELING UNDER A PREVIOUSLY PLACED FOOTING SHALL NOT BE PERMITTED.</div></div>	LOCATION	28 DAY STRENGTH	MIN CEMENT CONTENT	SLUMP	MAX AGG. SIZE	FOOTINGS	3000 PSI	5.5 BAG/YD	4" ±1"	1 ½"	SLAB ON GRADE	4000 PSI	6.3 BAG/YD	3" ±1"	¾"	<div>TIMBER</div> <div>1. ALL FRAMING SHALL BE IN ACCORDANCE WITH THE FOLLOWING, IBC 2018, CHAPTER 23-SECTION 2308, AND AFPA NDS-2018.</div> <div>2. ROOF TRUSSES SHALL BE SPACED NO FARTHER THAN 1'-6" O.C., ROOF TRUSS SHALL BE PLACED AT WALL STUDS LOCATIONS.</div> <div>3. PREMANUFACTURED ROOF TRUSSES SHALL BE BRACED PER TRUSS MANUFACTURER REQUIREMENTS, BUT NOT LESS THAN THE FOLLOWING:<div>PERMANENT BRACING: * LATERAL WEB BRACING, 1x4 #3 SPRUCE-PINE-FIR OR BETTER, CONTINUOUS DOWN FULL LENGTH OF BUILDING AT MIDPOINT OF CENTER TWO MEMBERS OF EACH TRUSS. LAPS SHALL CROSS 2 TRUSSES, MINIMUM. * DIAGONAL WEB BRACING, 2x4 #3 SPRUCE-PINE-FIR OR BETTER, AT 45° +/- SPACED AT 12'-0" O.C. DOWN LENGTH OF TRUSS. * LATERAL BOTTOM CHORD BRACING, 2x4 #3 SPRUCE-PINE-FIR OR BETTER, CONTINUOUS DOWN FULL LENGTH OF BUILDING LOCATED AT TRUSS PANEL POINTS (12'-0" O.C. MAXIMUM). LAPS SHALL CROSS 2 TRUSSES, MINIMUM. * DIAGONAL BOTTOM CHORD BRACING, 2x4 #3 SPRUCE-PINE-FIR OR BETTER, ALONG LENGTH OF TRUSS AT 45° +/- AT 20'-0" O.C. AND AT EACH END WALL.</div><div>TEMPORARY BRACING: * BRACING AS REQUIRED BY MANUFACTURE TO ASSURE SAFETY AND STABILITY DURING CONSTRUCTION. * IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN STABILITY OF STRUCTURE UNTIL CONSTRUCTION IS COMPLETE.</div></div> <div>4. EXTERIOR SHEATHING TO BE NAILED TO TOP PLATES AND SILL PLATES WITH 0.131 x2 1/2" COMMON NAILS @ 6" O.C. OR ALL LOAD BEARING STUD WALLS SHALL BE CONSTRUCTED WITH ONE SIMPSON SP1 STUD PLATE TIE AT EACH STUD TO TOE PLATE CONNECTION AND ONE SP2 STUD PLATE TIE AT EACH STUD TO TOP PLATE CONNECTION.</div> <div>5. EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 2x BLOCKING AT ALL JOINTS IN SHEATHING.</div> <div>6. SHEATHING FASTENERS SHALL BE DRIVEN SUCH THAT THEIR HEAD OR CROWN IS FLUSH WITH THE SURFACE OF THE SHEATHING.</div> <div>7. ALL CONNECTIONS NOT REFERENCED ON DRAWINGS TO COMPLY WITH IBC 2012, TABLE 2304.9.1.</div> <div>8. ALL FRAMING MEMBERS TO BE SOUTHERN YELLOW PINE NO. 2 DENSE OR BETTER.</div> <div>9. ANY MEMBERS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.</div> <div>10. ANY FASTENERS OR CONNECTORS EXPOSED TO WEATHER SHALL BE STAINLESS STEEL OR GALVANIZED.</div> <div>11. ALL BOLTED CONNECTIONS TO HAVE 2"Ø x 1/8" WASHERS AT BOTH ENDS OF BOLT.</div> <div>12. WALL AND ROOF SHEATHING MATERIAL TO BE STRUCTURAL I GRADE.</div> <div>13. SHOP DRAWINGS SHALL BE SUBMITTED INDICATING TRUSS CONFIGURATION, SPECIES, SPECIES GROUP, SIZES AND STRESS GRADES OF LUMBER TO BE USED, TRUSS SPAN AND SPACING FOR EACH TYPE OF TRUSS, LOADING, ALLOWABLE STRESSES, AND CALCULATIONS. DRAWINGS TO INCLUDE LOCATION AND TYPE OF METAL CONNECTOR PLATES, BEARING, AND FASTENING DETAILS. SHOP DRAWINGS TO BE STAMPED AND SIGNED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF GEORGIA. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION. SHOP DRAWINGS SHALL BE SUBMITTED CONTRACTOR APPROVED.</div>	<div>MASONRY WALL REINFORCING</div> <div>1. MASONRY WALL CONSTRUCTION AND REINFORCING SHALL BE IN ACCORDANCE WITH DIVISION 4 OF THE SPECIFICATIONS AND TMS 402/602-16 & DETAIL 1/S3.2.</div> <div>2. ALL CONCRETE MASONRY UNITS SHALL HAVE A NET COMPRESSIVE STRENGTH OF 2,000 psi AND SHALL CONFORM TO ASTM C90, GRADE N.</div> <div>3. FOR ALL CONCRETE MASONRY UNITS ABOVE AND BELOW GRADE, MORTAR TO BE TYPE S AND CONFORM TO ASTM C220.</div> <div>4. THE QUALITY OF THE CONSTRUCTION OF LOAD BEARING MASONRY WALLS SHALL BE MONITORED PER THE LEVEL 2 QUALITY ASSURANCE PROGRAM AS DICTATED IN SECTION 1.6 TABLE TABLE 3 & 4, TMS 602. - ENGINEER TO BE NOTIFIED PRIOR TO FILLING CELLS</div> <div>5. REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60.</div> <div>6. VERTICAL REINFORCING - PROVIDE (1) REBAR (TO MATCH REINFORCING SIZE CALLED FOR ON PLANS) IN CONCRETE FILLED CELL, CONTINUOUS FROM FOOTING TO BOND BEAM AT TOP OF WALL. REBAR SHALL EXTEND 4" INTO BOND BEAM. BREAK-OUT BOTTOM OF BOND BEAM AND POUR TOP 4 COURSES OF CELL WITH BOND BEAM. PROVIDE AT THE FOLLOWING LOCATIONS.<div>-AT WALL CORNERS. -AT ENDS OF ALL WALLS AND EACH SIDE OF EXPANSION JOINTS. -AT ALL DOOR AND WINDOW JAMBS. -AT SPACING INDICATED ON THE PLANS.</div></div> <div>7. REINFORCING SHALL BE TIED ON CENTERLINE OF CELLS. REINFORCING IS TO BE PLACED AND SECURED IN CELLS PRIOR TO PLACING GROUT.</div> <div>8. VERTICAL SPLICES SHALL BE PER THE FOLLOWING:<div>#4'S = 24"</div><div>#5'S = 30"</div></div> <div>9. CONCRETE FILLED CELLS SHALL BE FILLED IN MAXIMUM 4 FOOT LIFTS, WITH 2500 psi MASONRY GROUT CONFORMING TO ASTM C476.</div> <div>10. ALL CELLS AND CAVITIES BELOW GRADE SHALL BE FILLED WITH GROUT.</div> <div>11. HORIZONTAL REINFORCEMENT-PROVIDE 9 GA. LADDER TYPE MASONRY REINFORCING AT 16" O.C. ALONG ENTIRE LENGTH OF WALL. DISCONTINUE REINFORCING AT CONTROL JOINTS.</div> <div>12. PROVIDE CONCRETE FILLED BOND BEAM WITH (2)-#5 REBAR WHERE WALLS ARE STRUCTURALLY CONNECTED TO ROOF AND FLOORS AND AT TOPS OF ALL WALLS. <u>BOND BEAM SHALL BE CONTINUOUS.</u></div> <div>13. PROVIDE BOND BEAM WITH 2-#5'S AT DOOR AND WINDOW HEADS AND WINDOW SILLS. EXTEND 2'-0" BEYOND OPENING.</div> <div>14. CONTROL JOINTS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:<div>-AT A MAXIMUM OF 3 TIMES THE WALL HEIGHT, WITH A MAXIMUM SPACING OF 30 FEET O.C. -AT A MAXIMUM DISTANCE OF 3 TIMES THE WALL HEIGHT OR 30 FEET FROM BONDED INTERSECTIONS OR CORNERS. -AT CHANGES IN WALL HEIGHT AND/OR THICKNESS. -ALONG JOINTS IN FOUNDATIONS, FLOORS AND ROOF WHICH BEAR ON WALL.</div></div> <div>15. MASONRY WALLS SHALL BE BRACED UNTIL ROOF AND/OR FLOOR DIAPHRAGMS ARE TIED IN.</div> <div>16. NOT USED.</div> <div>17. NO CONDUITS, PIPES, OR SLEEVES SHALL BE PLACED IN REINFORCED AND GROUTED CELLS WITHOUT APPROVAL OF ENGINEER.</div> <div>18. INTERSECTING WALLS SHALL BE CONNECTED BY EITHER OVERLAPPING OF CMU UNITS, 9 GA. TRUSSED WIRE REINFORCING AT 8" O.C. EXTENDING A MIN. OF 30" INTO EACH WALL ELEMENT, OR METAL STRAPS PER ACI308 AT 4'-0" O.C. MIN. (TYPICAL UNLESS A CONTROL JOINT IS REQUIRED ADJACENT TO WALL INTERSECTION).</div> <div>19. CONTRACTOR TO SUBMIT CERTIFICATES OF MATERIALS FOR ALL MATERIALS USED IN THE MASONRY CONSTRUCTION. INCLUDE VERIFICATION OF THE COMPRESSIVE STRENGTH OF THE CONCRETE MASONRY UNITS.</div>
LOCATION	28 DAY STRENGTH	MIN CEMENT CONTENT	SLUMP	MAX AGG. SIZE														
FOOTINGS	3000 PSI	5.5 BAG/YD	4" ±1"	1 ½"														
SLAB ON GRADE	4000 PSI	6.3 BAG/YD	3" ±1"	¾"														



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FOUNDATION AND SLAB PLAN

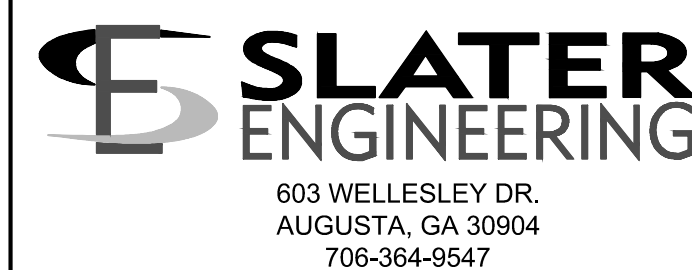
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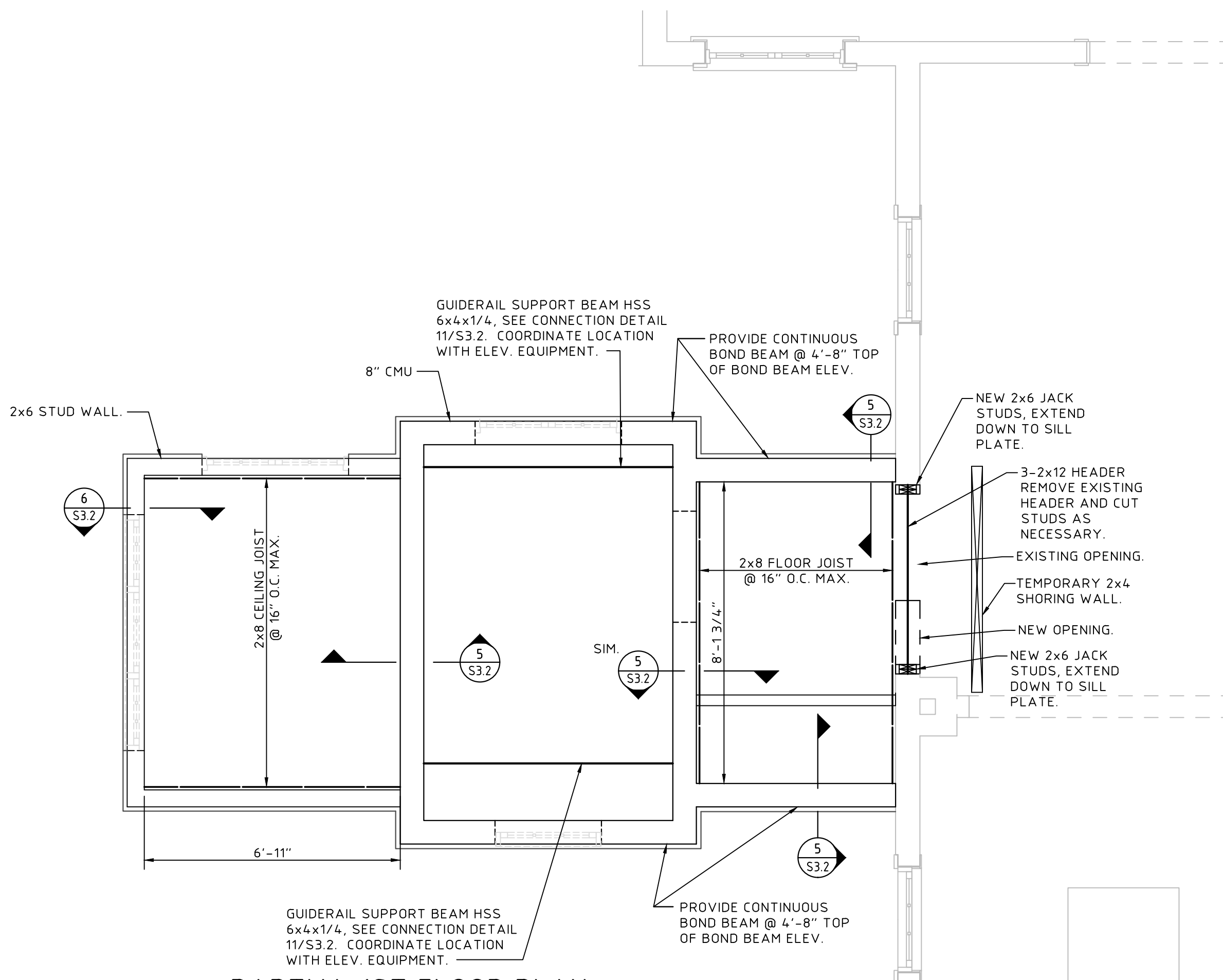
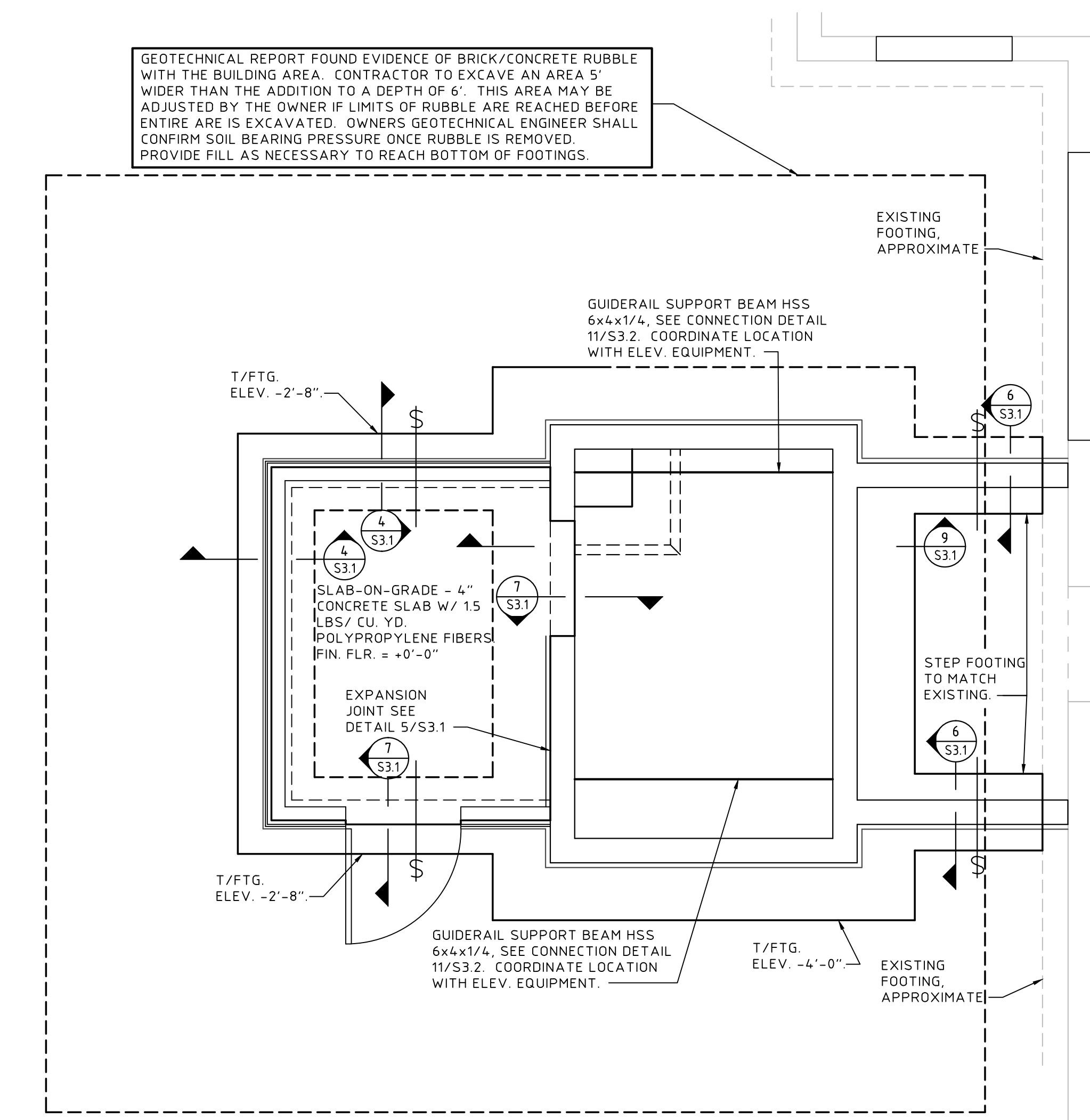
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LEGEND
\$ STEP IN FOOTING SEE DETAIL 3/S3.1

PARTIAL FOUNDATION/BASEMENT PLAN

3/8" = 1'-0"



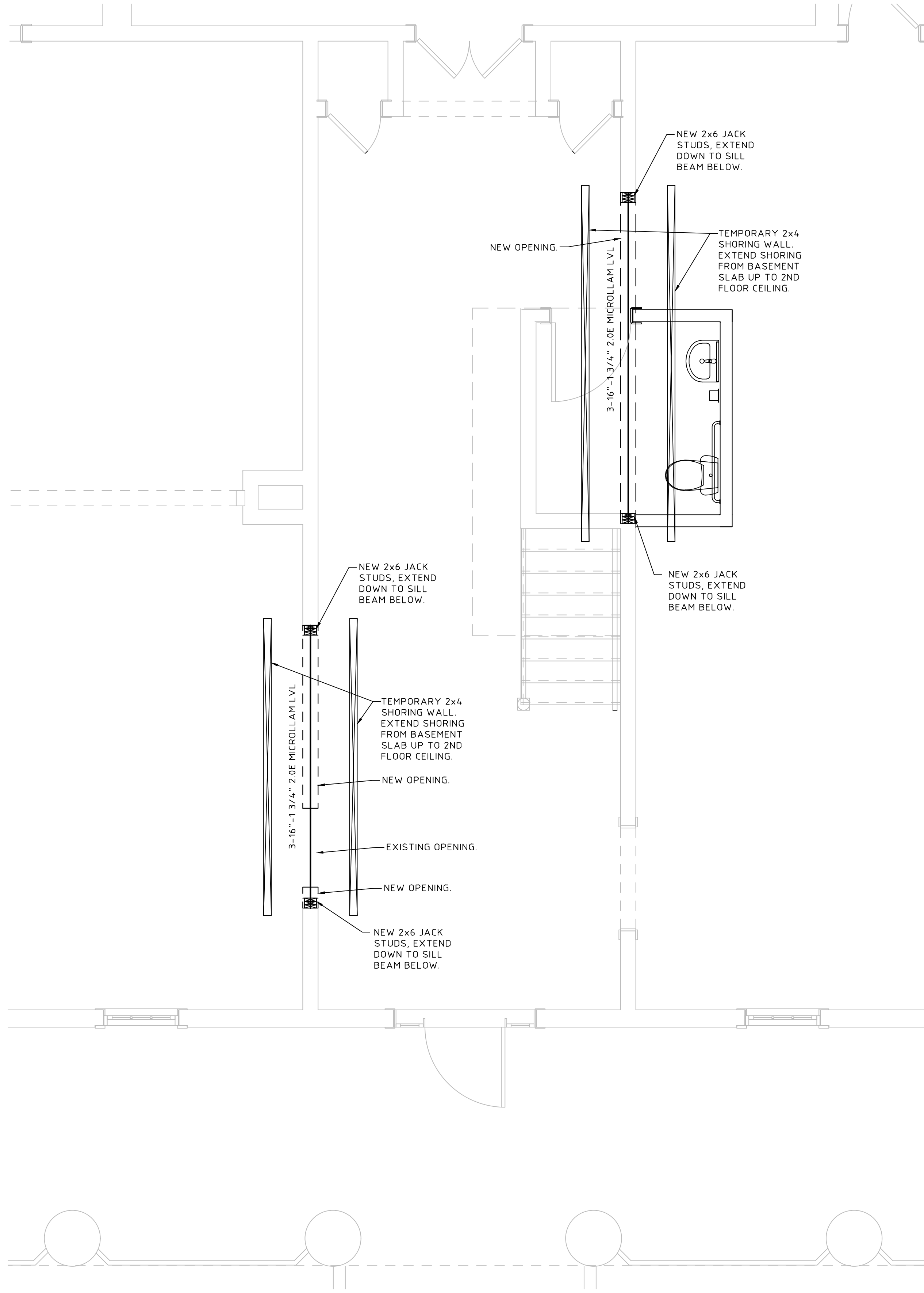
PARTIAL 1ST FLOOR PLAN

3/8" = 1'-0"

- FRAMING NOTES:**
- 1) WALL FRAMING SHALL BE 2x6 #2 SPF STUDS @ 16" O.C. W/ 7/16" CDX OR OSB SHEATHING W/ 0.131 (8d) x 2 1/2" COMMON NAILS @ 6" O.C. (**U.N.O.**) ALONG EDGES & @ 12" O.C. IN FIELD. ALL EDGES ARE TO BE BLOCKED.
 - 2) LOAD BEARING STUD WALLS TO BE ANCHORED TO FOUNDATION WALL WITH 1/2"Ø HOOKED ANCHOR BOLTS AND 3"x3"x1/4" PLATE WASHERS @ 4'-0" O.C. MAX. U.N.O.
 - 3) EXTERIOR SHEATHING TO BE NAILED TO TOP PLATES AND SILL PLATES WITH 0.131 (8d)x2 1/2" COMMON NAILS @ 6" O.C. **U.N.O.**
 - 4) ALL FASTENERS, INCLUDING ANCHOR BOLTS, IN CONTACT WITH PRESSURE TREATED WOOD, SHALL BE GALVANIZED OR STAINLESS STEEL TO RESIST THE CORROSIVE EFFECTS.
 - 5) SEE TYPICAL FRAMING DETAIL 4/S3.2.
 - 6) ROOF SHEATHING TO BE 5/8" T&G CDX OR OSB SHEATHING W/ 10d @ 6" O.C. ALONG EDGES & @ 12" O.C. IN FIELD.

PARTIAL 1ST FLOOR PLAN

3/8" = 1'-0"





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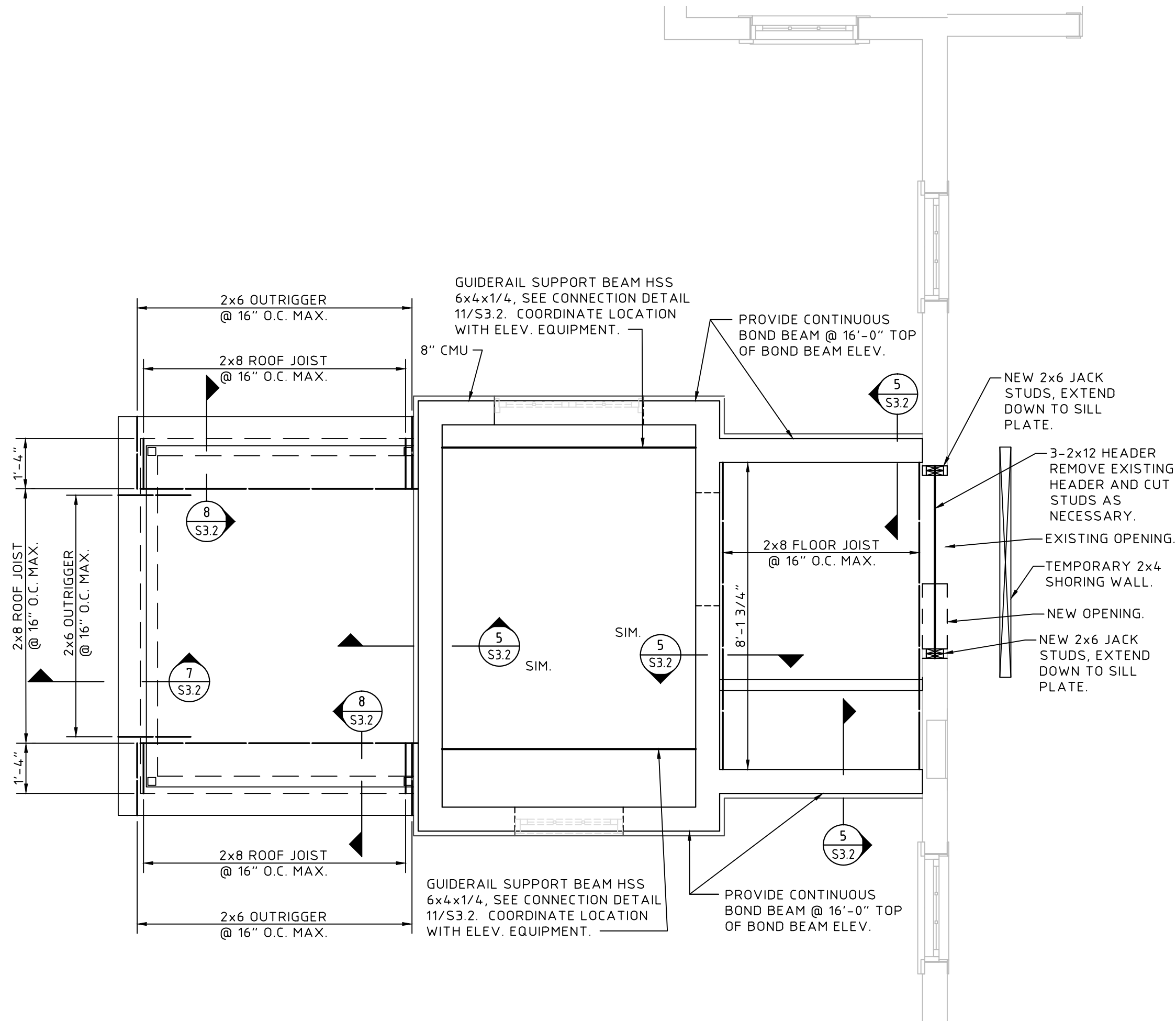
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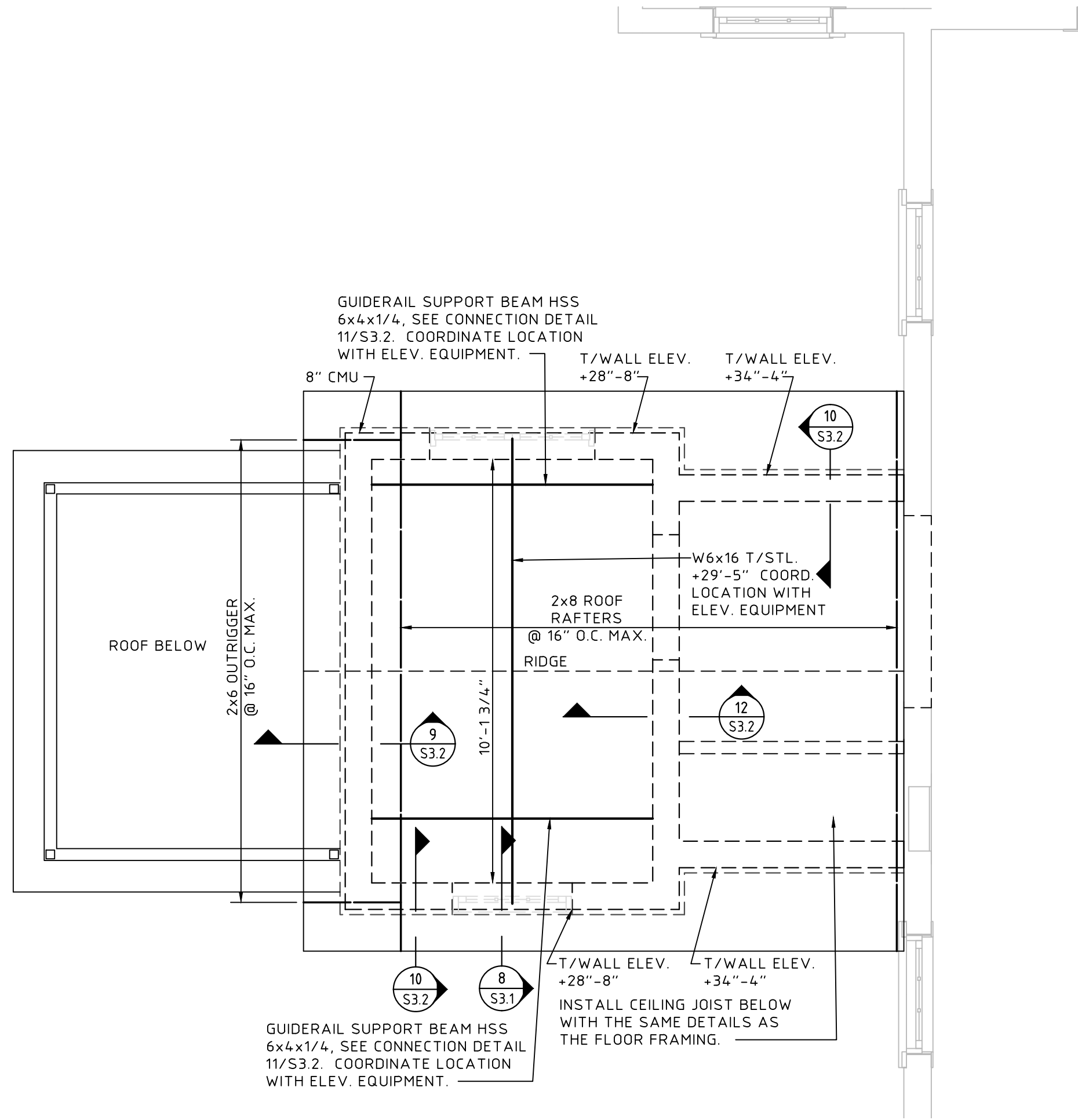


PARTIAL 2ND FLOOR PLAN

3/8" = 1'-0"

FRAMING NOTES:

- 1) WALL FRAMING SHALL BE 2x6 #2 SPF STUDS @ 16" O.C. W/ 7/16" CDX OR OSB SHEATHING W/ 0.131 (8d) x 2 1/2" COMMON NAILS @ 6" O.C. (U.N.O.) ALONG EDGES & @ 12" O.C. IN FIELD. ALL EDGES ARE TO BE BLOCKED.
- 2) LOAD BEARING STUD WALLS TO BE ANCHORED TO FOUNDATION WALL WITH 1/2" Ø HOOKED ANCHOR BOLTS AND 3"x3"x1/4" PLATE WASHERS @ 4'-0" O.C. MAX. U.N.O.
- 3) EXTERIOR SHEATHING TO BE NAILED TO TOP PLATES AND SILL PLATES WITH 0.131 (8d)x2 1/2" COMMON NAILS @ 6" O.C. U.N.O.
- 4) ALL FASTENERS, INCLUDING ANCHOR BOLTS, IN CONTACT WITH PRESSURE TREATED WOOD, SHALL BE GALVANIZED OR STAINLESS STEEL TO RESIST THE CORROSIVE EFFECTS.
- 5) SEE TYPICAL FRAMING DETAIL 4/S3.2.
- 6) ROOF SHEATHING TO BE 5/8" T&G CDX OR OSB SHEATHING W/ 10d @ 6" O.C. ALONG EDGES & @ 12" O.C. IN FIELD.



PARTIAL ROOF PLAN

3/8" = 1'-0"

FOUNDATION AND SLAB PLAN

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
RICHMOND COUNTY PUBLIC LIBRARY SYSTEM
APPLEBY BRANCH LIBRARY

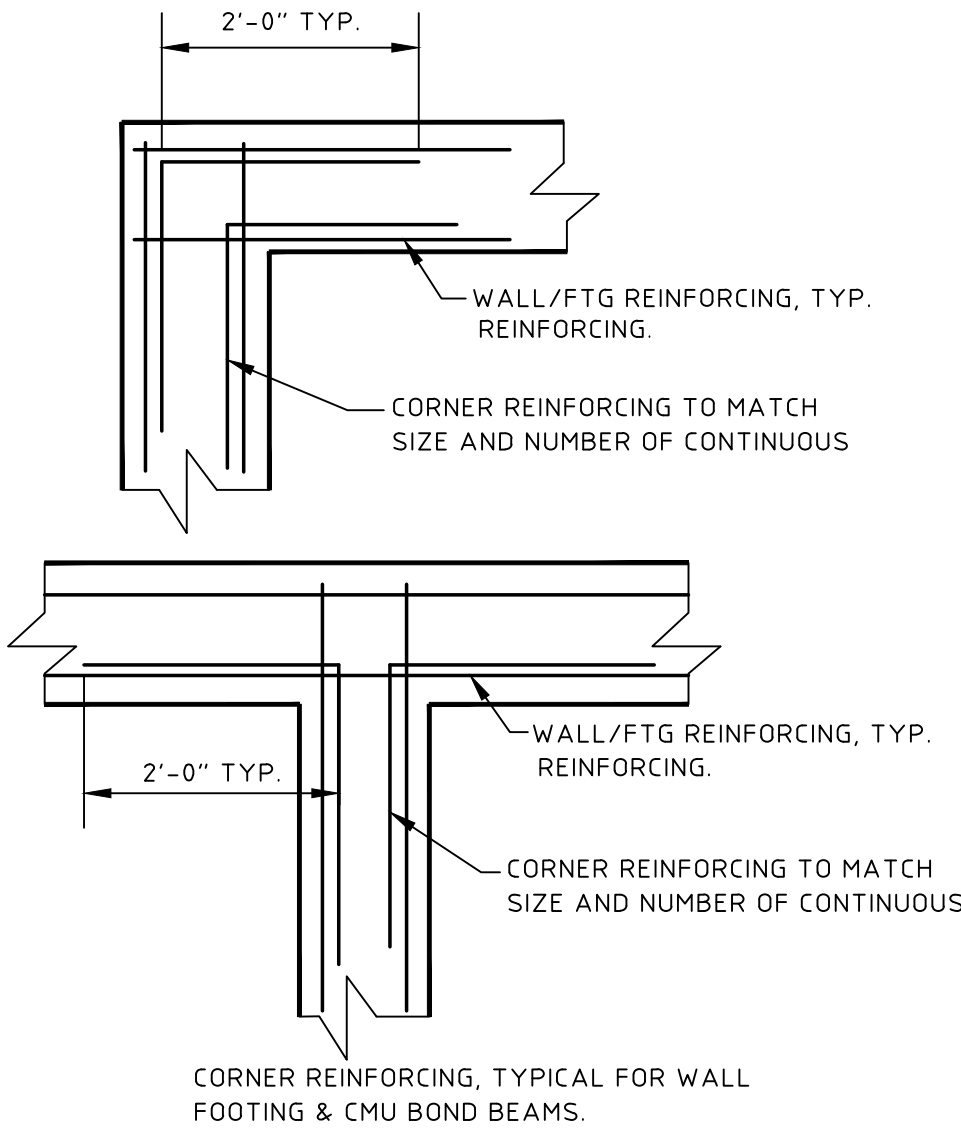
2260 WALTON WAY
AUGUSTA, GEORGIA, 30904

PROJECT NUMBER 202056

DRAWN BY:	REVISIONS
CHECKED BY: BWS	
ISSUE DATE: 06/24/21	
PLOT DATE: 3/1/22	

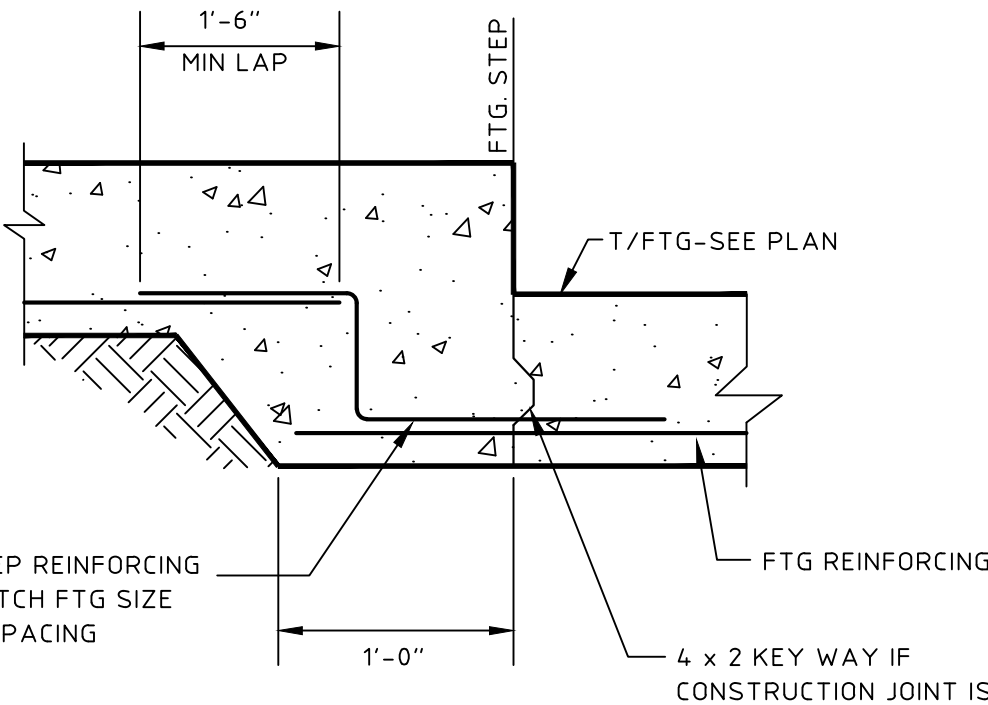
S2.2

1
S3.1



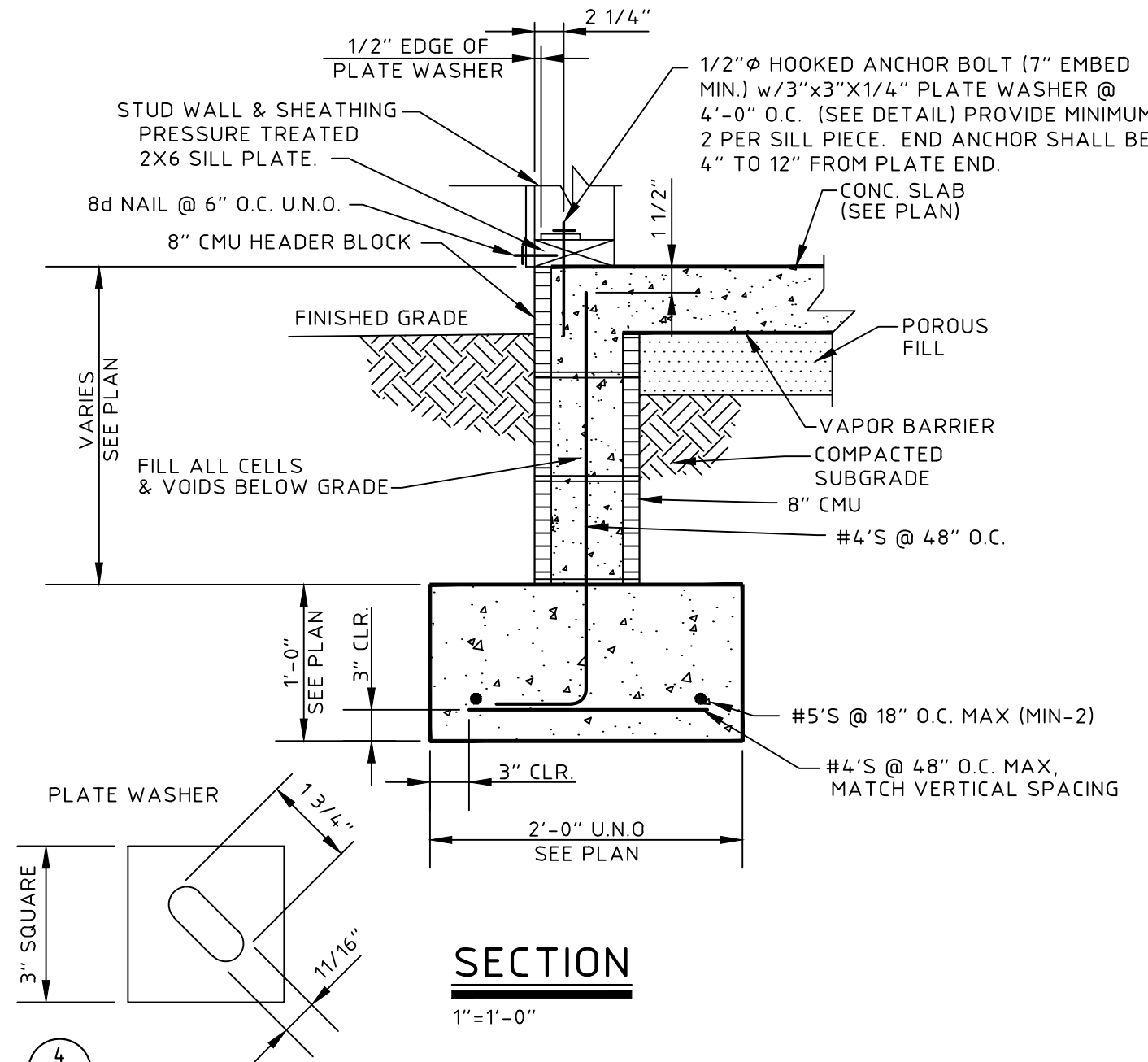
DETAIL
NOT TO SCALE

2
S3.1



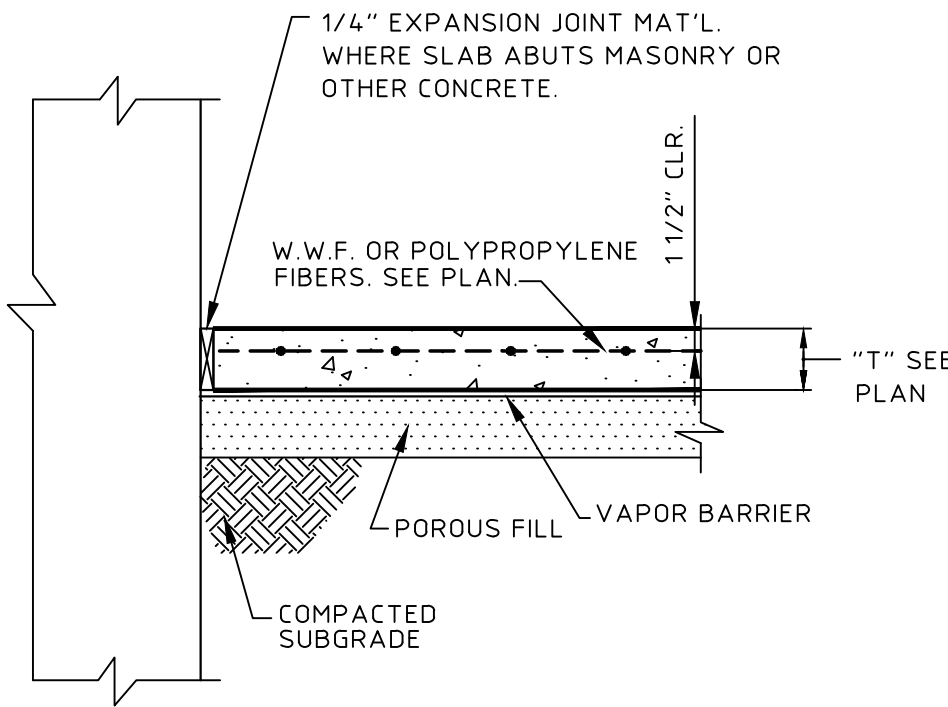
DETAIL
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3
S3.1



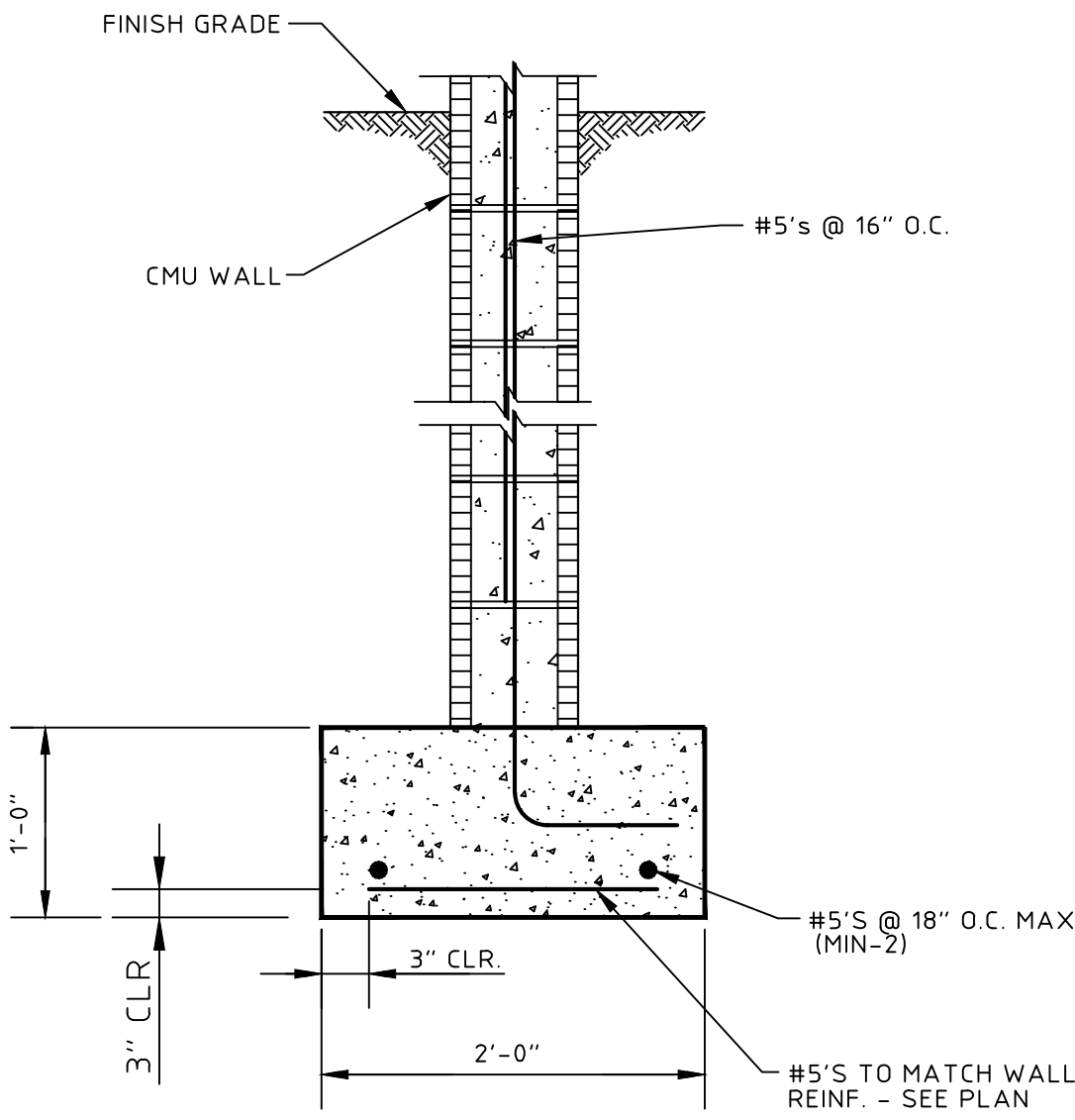
SECTION
1"=1'-0"

4
S3.1



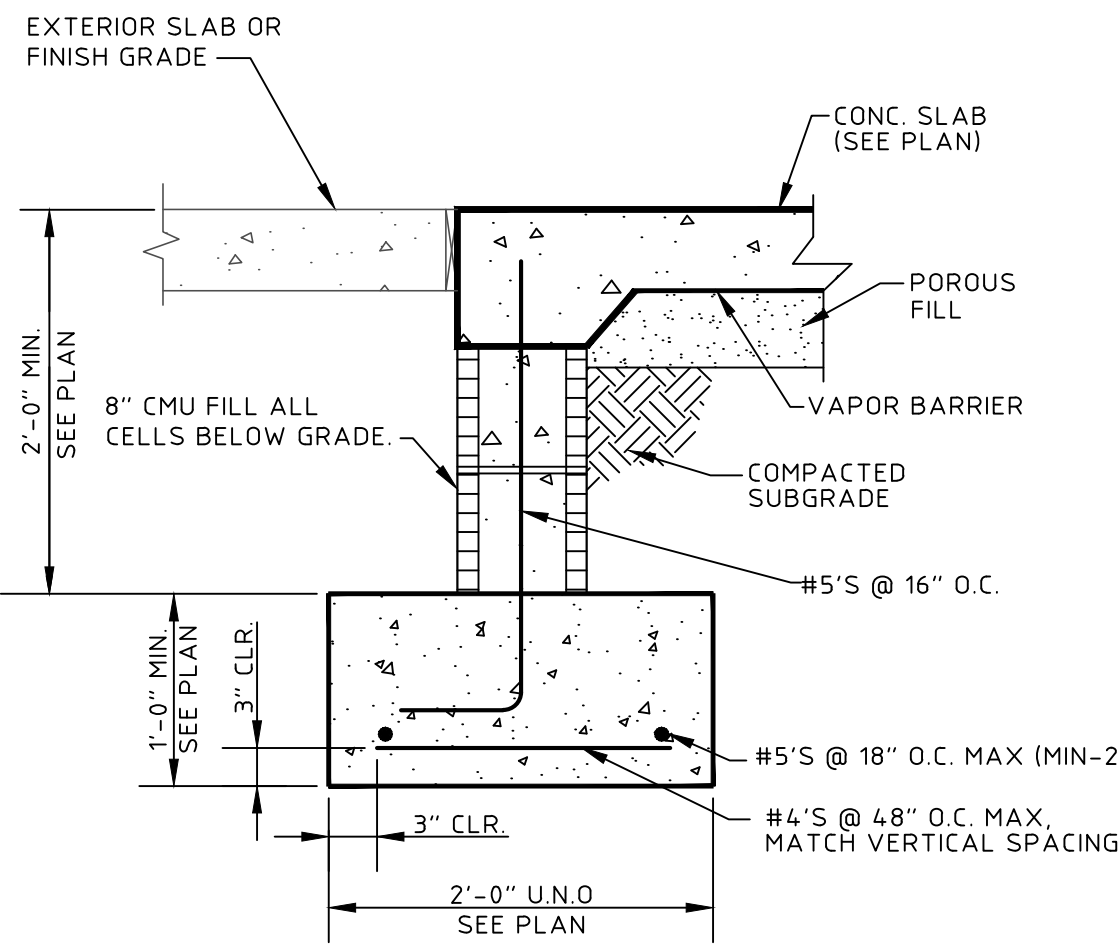
SECTION
NOT TO SCALE

5
S3.1



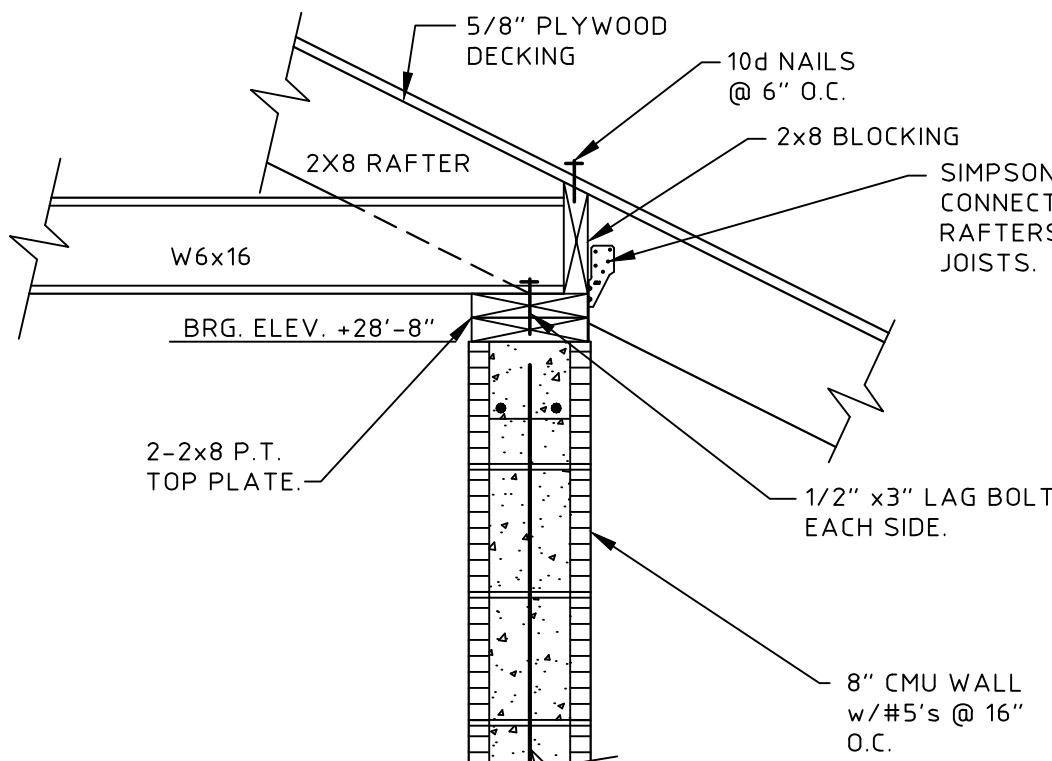
SECTION
1"=1'-0"

6
S3.1



SECTION
1"=1'-0"

7
S3.1

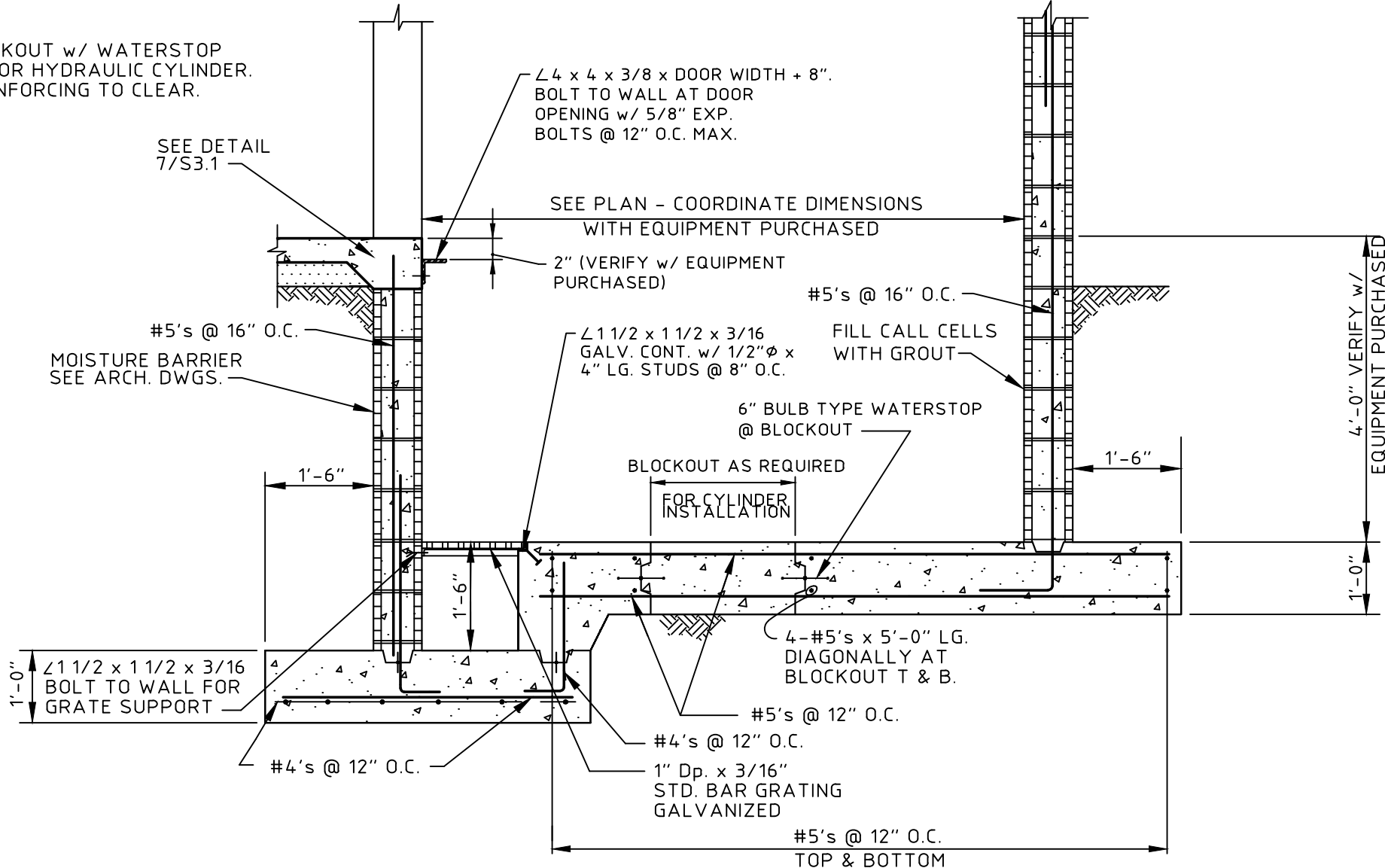


SECTION
1"=1'-0"

NOTE: ALL CONNECTIONS NOT SPECIFICALLY REFERENCED ON THE DRAWINGS SHALL COMPLY WITH IBC 2018, TABLE 2304.10.1

8
S3.1

NOTE:
PROVIDE BLOCKOUT w/ WATERSTOP
IF REQUIRED FOR HYDRAULIC CYLINDER.
FIELD CUT REINFORCING TO CLEAR.



SECTION
NOT TO SCALE

9
S3.1

11
S3.1



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STRUCTURAL DETAILS SHEET 2

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
RICHMOND COUNTY PUBLIC LIBRARY SYSTEM

APPLEBY BRANCH LIBRARY

2260 WALTON WAY
AUGUSTA, GEORGIA, 30904

PROJECT NUMBER 202056

REVISIONS

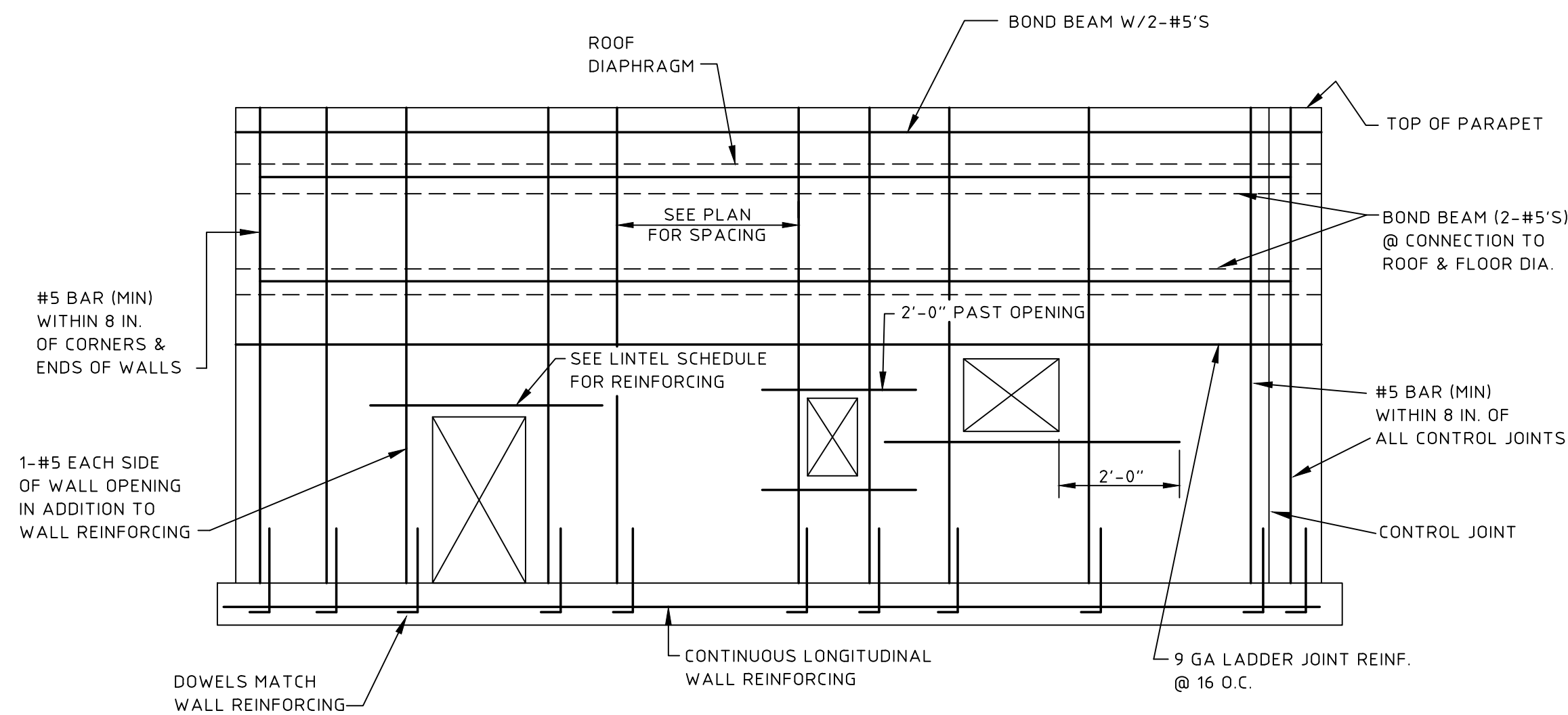
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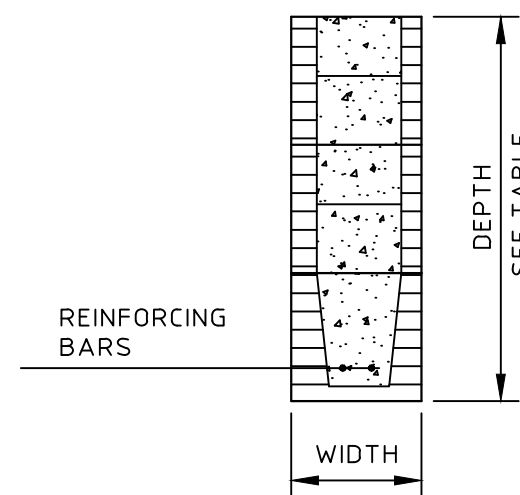
ISSUE DATE: 3/1/22

PLOT DATE:

S3.2



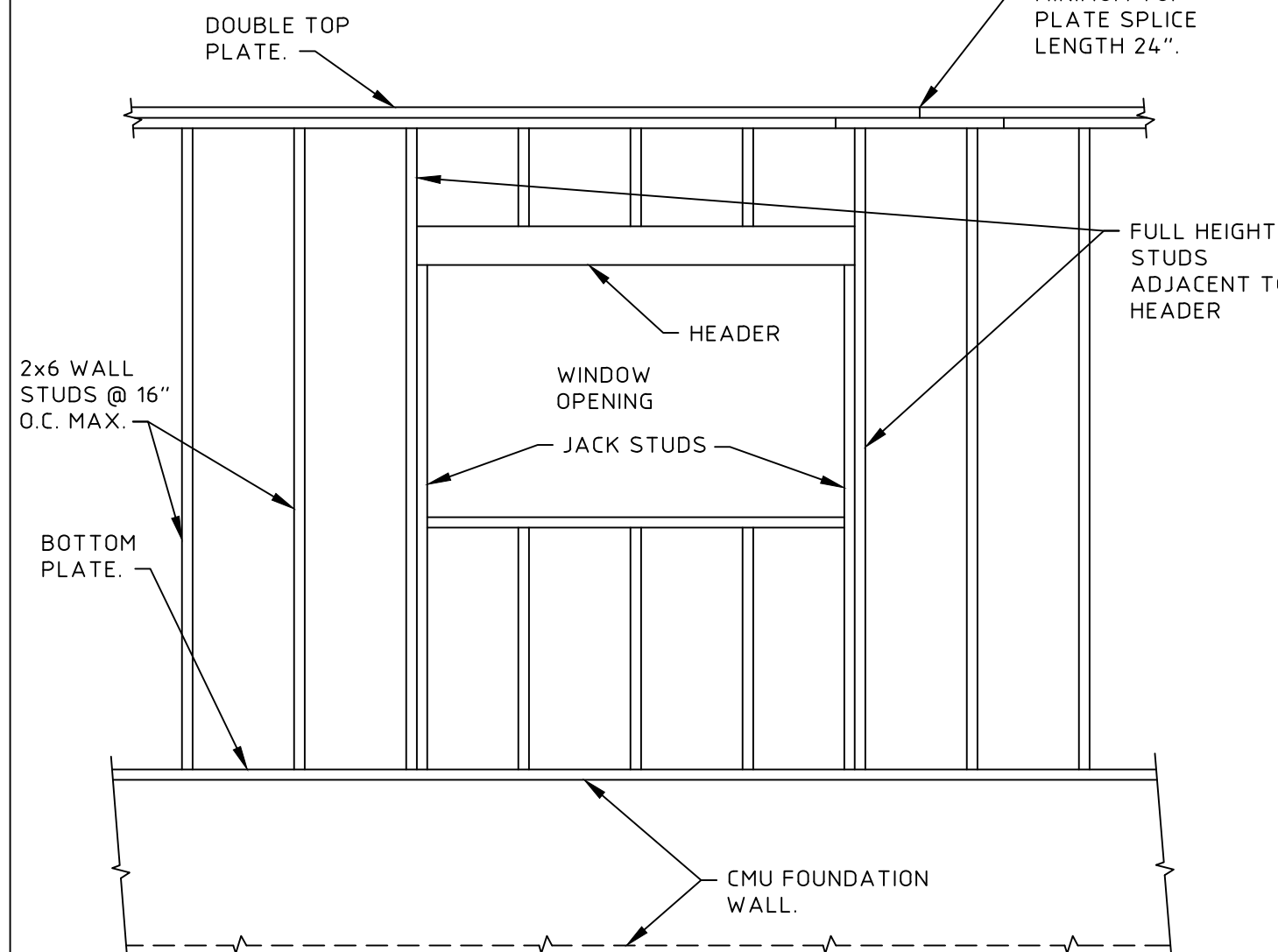
NOTE: WALL REINFORCING SHOWN ABOVE SHALL MATCH REINFORCING SIZE CALLED FOR ON PLANS.
MINIMUM REINFORCEMENT FOR MASONRY WALLS
NO SCALE



LINTEL/BOND BEAM REINFORCING SCHEDULE		
LENGTH OF OPENING	REINFORCING	DEPTH
0'-0" → 8'-0"	2-#5's CONT.	8"
8'-0" → 10'-0"	2-#5's CONT.	16"
10'-0" → 17'-0"	2-#5's CONT.	24"

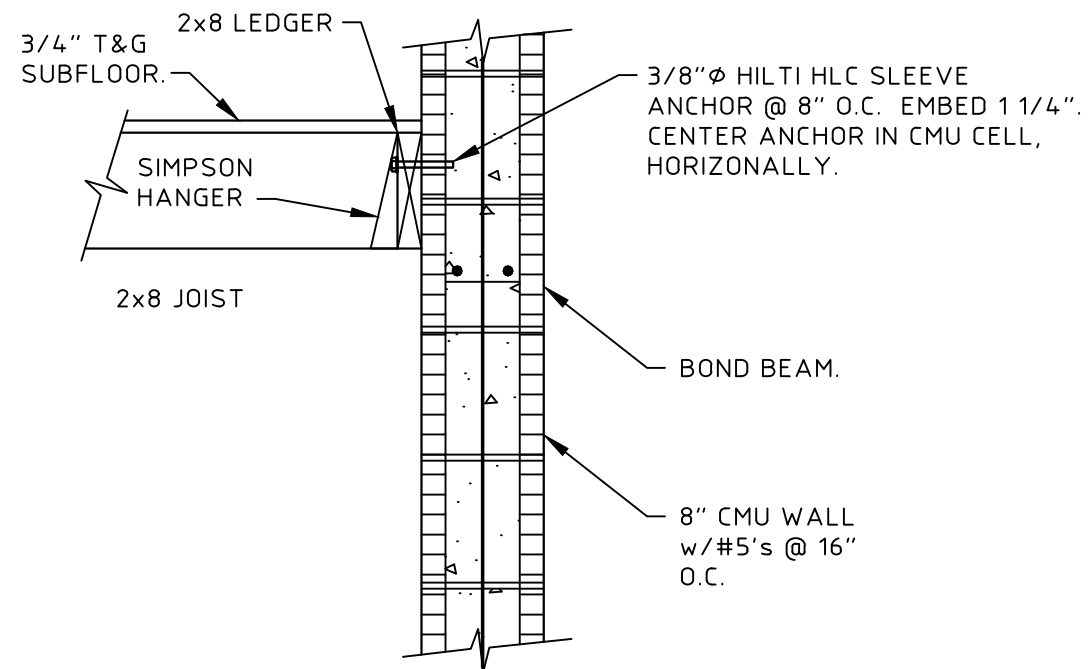
NOTE:
EXTEND REINFORCING 2'-0" BEYOND OPENING

DETAIL
NOT TO SCALE



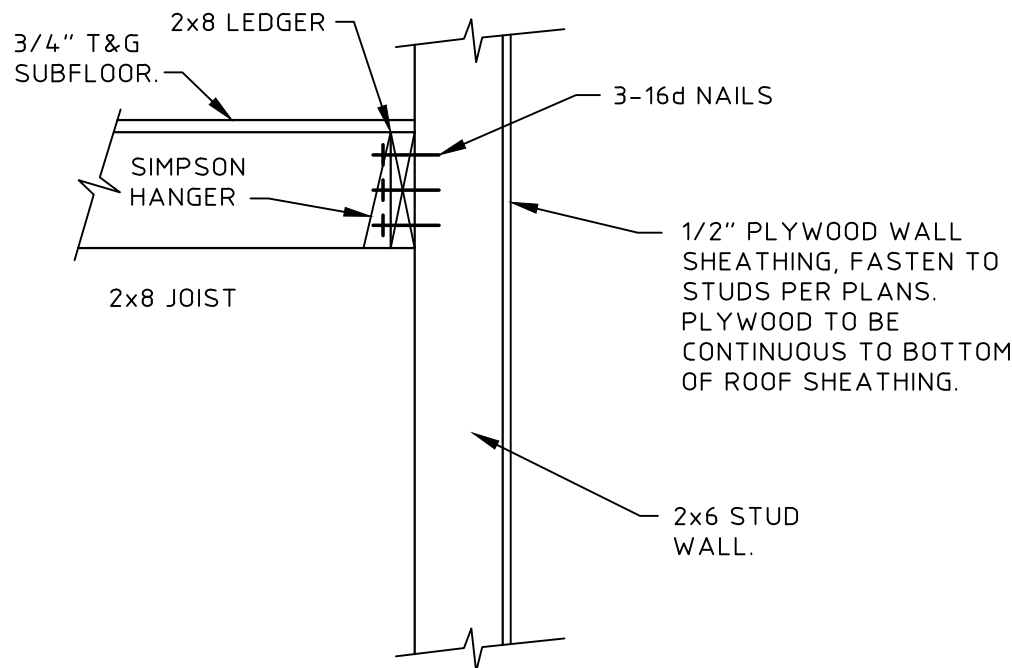
TYP. FRAMING DETAIL
1/2" = 1'-0"

ALL FRAMING CONNECTIONS SHALL BE IN ACCORDANCE WITH TABLE R602.3(1)



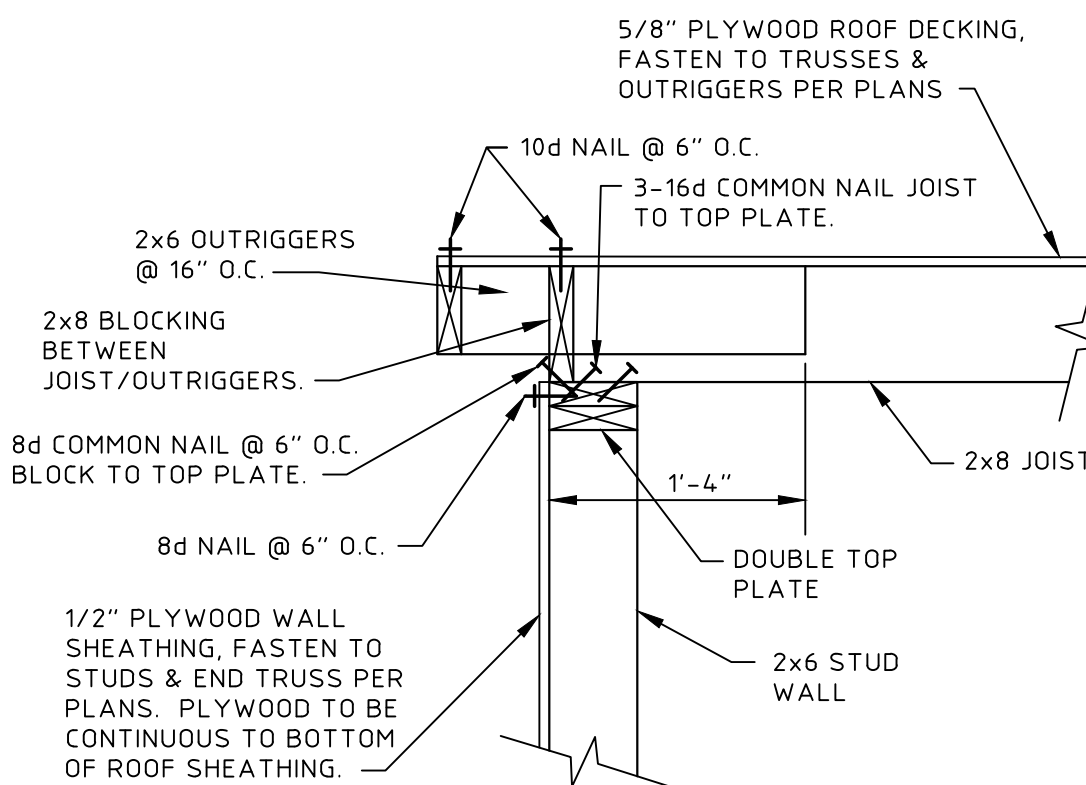
DETAIL
1" = 1'-0"

NOTE: ALL CONNECTIONS NOT SPECIFICALLY REFERENCED ON THE DRAWINGS SHALL COMPLY WITH IBC 2018, TABLE 2304.10.1



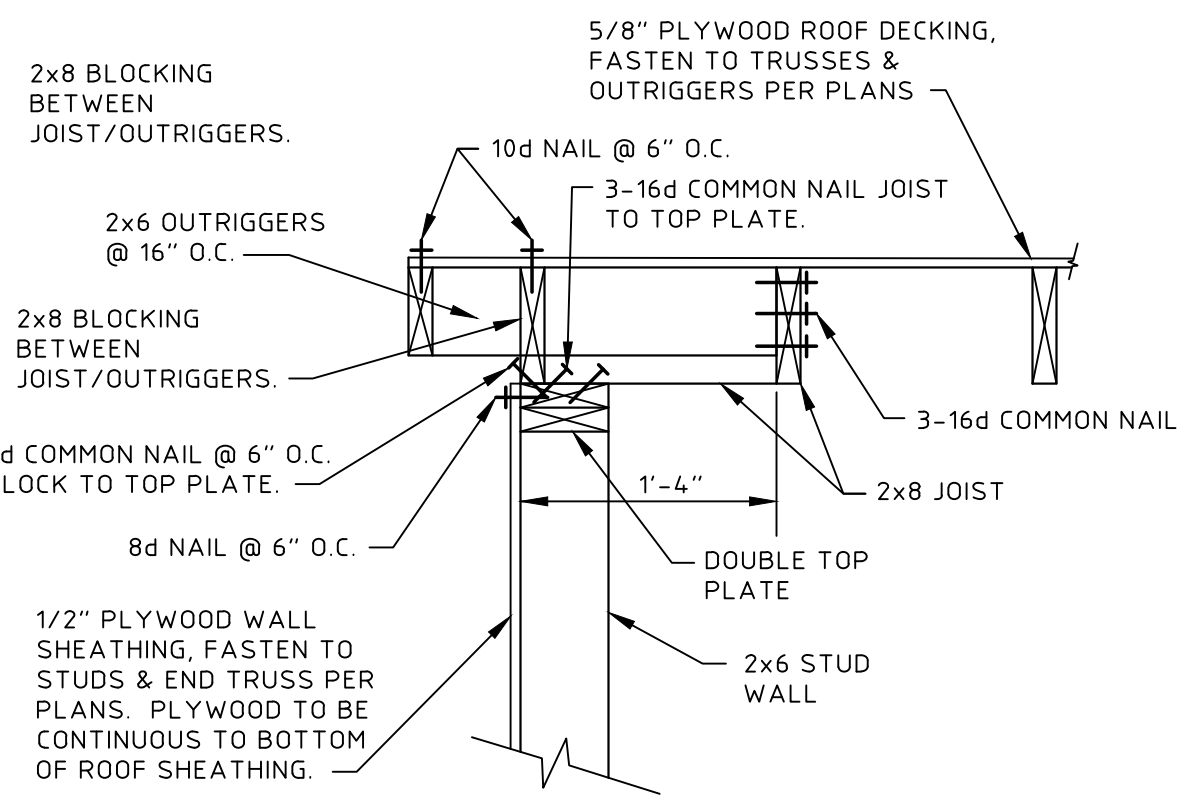
DETAIL
1" = 1'-0"

NOTE: ALL CONNECTIONS NOT SPECIFICALLY REFERENCED ON THE DRAWINGS SHALL COMPLY WITH IBC 2018, TABLE 2304.10.1



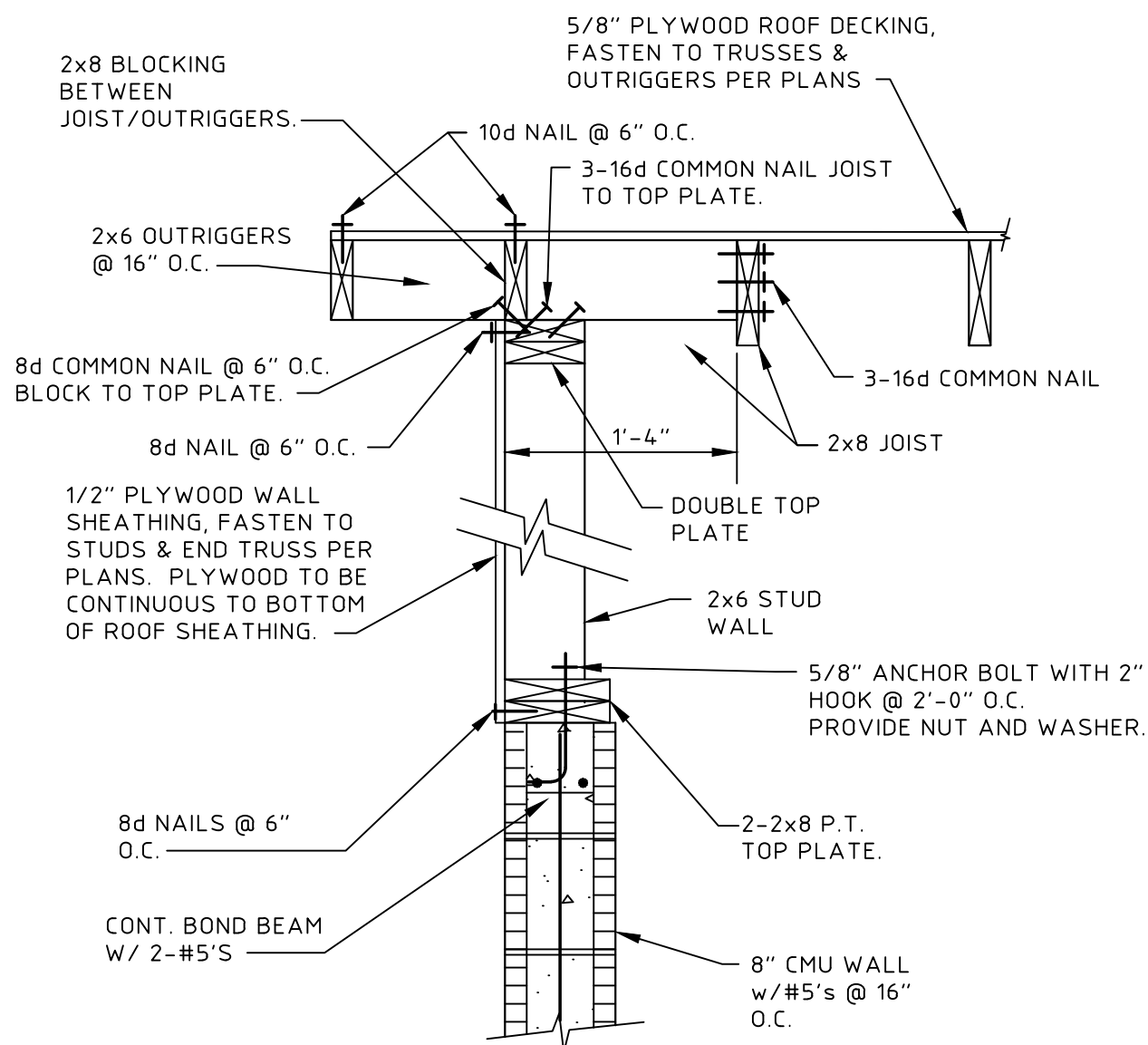
DETAIL
1" = 1'-0"

NOTE: ALL CONNECTIONS NOT SPECIFICALLY REFERENCED ON THE DRAWINGS SHALL COMPLY WITH IBC 2018, TABLE 2304.10.1

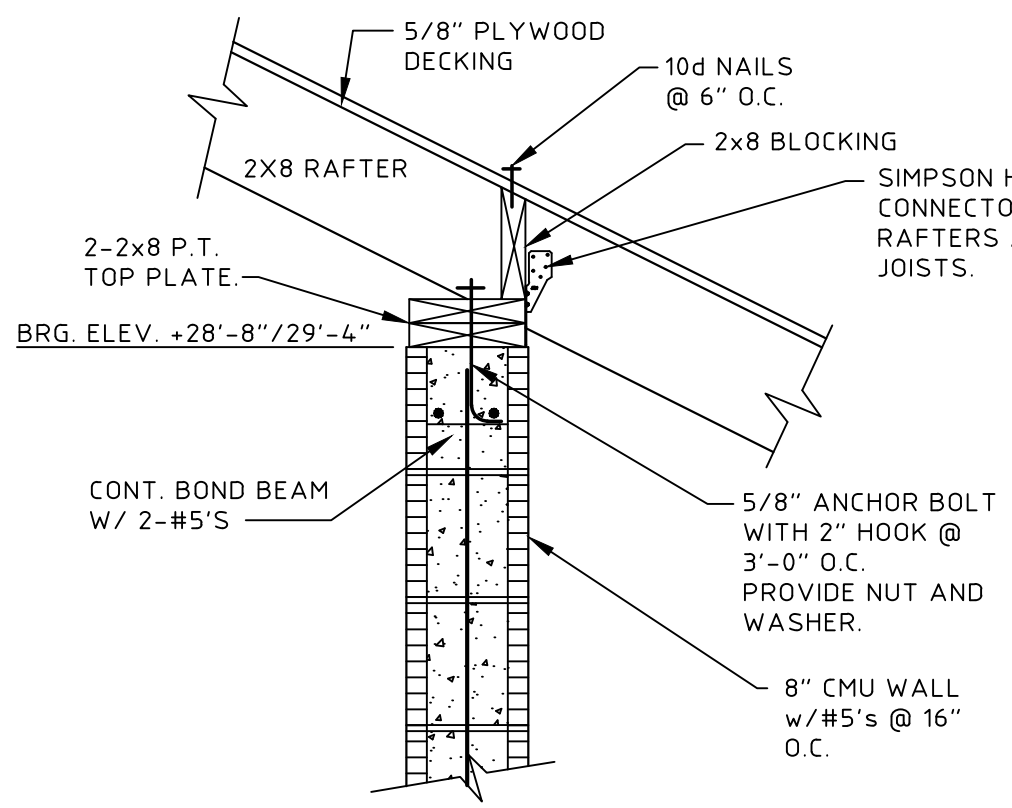


DETAIL
1" = 1'-0"

NOTE: ALL CONNECTIONS NOT SPECIFICALLY REFERENCED ON THE DRAWINGS SHALL COMPLY WITH IBC 2018, TABLE 2304.10.1

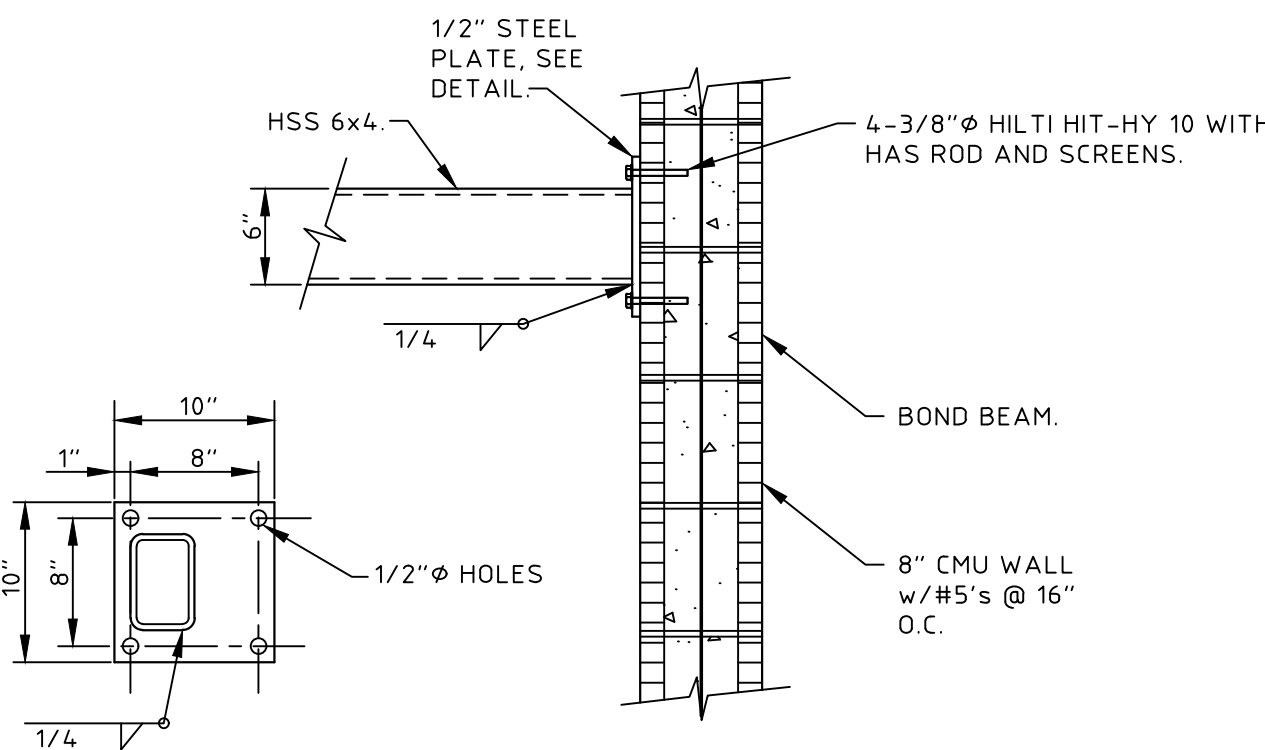


DETAIL
1" = 1'-0"

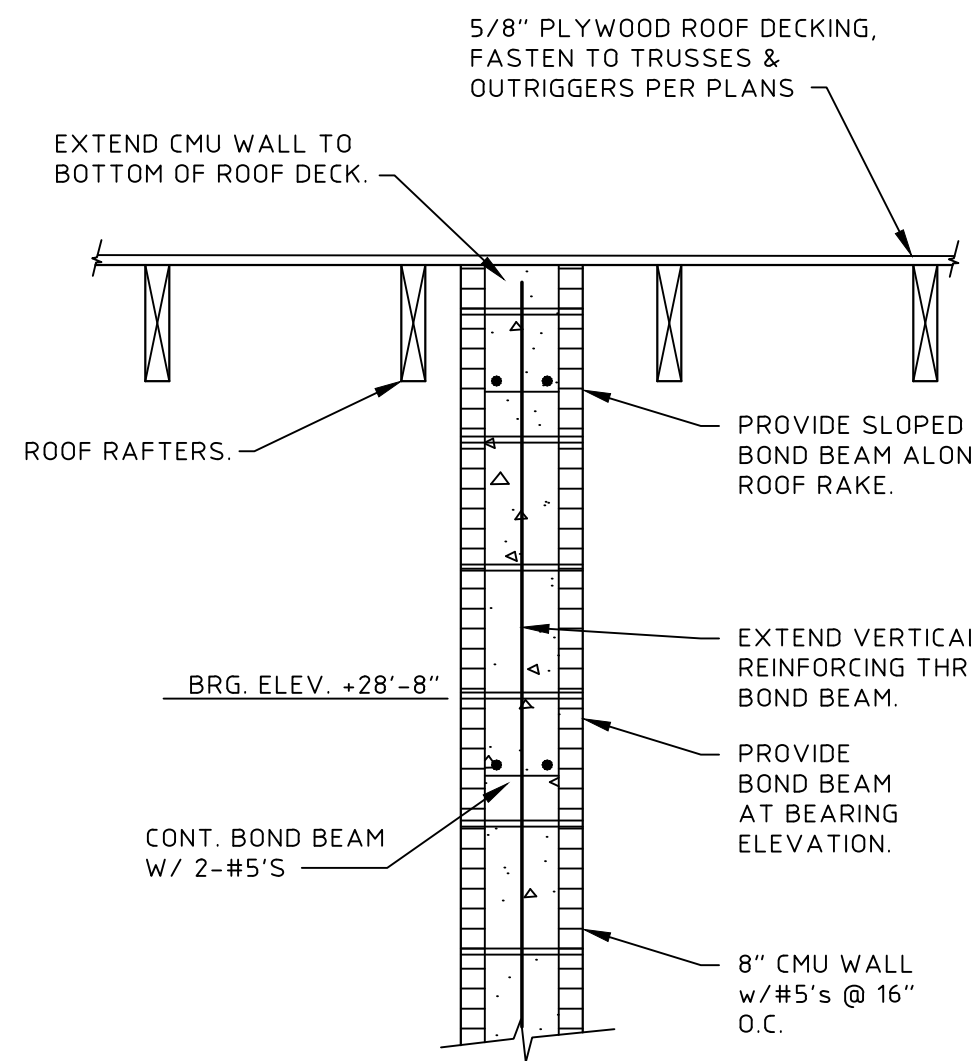


SECTION
1" = 1'-0"

NOTE: ALL CONNECTIONS NOT SPECIFICALLY REFERENCED ON THE DRAWINGS SHALL COMPLY WITH IBC 2018, TABLE 2304.10.1



DETAIL
1" = 1'-0"



DETAIL
1" = 1'-0"

SLATER ENGINEERING
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AUGUSTA, GA 30904
706-364-9547



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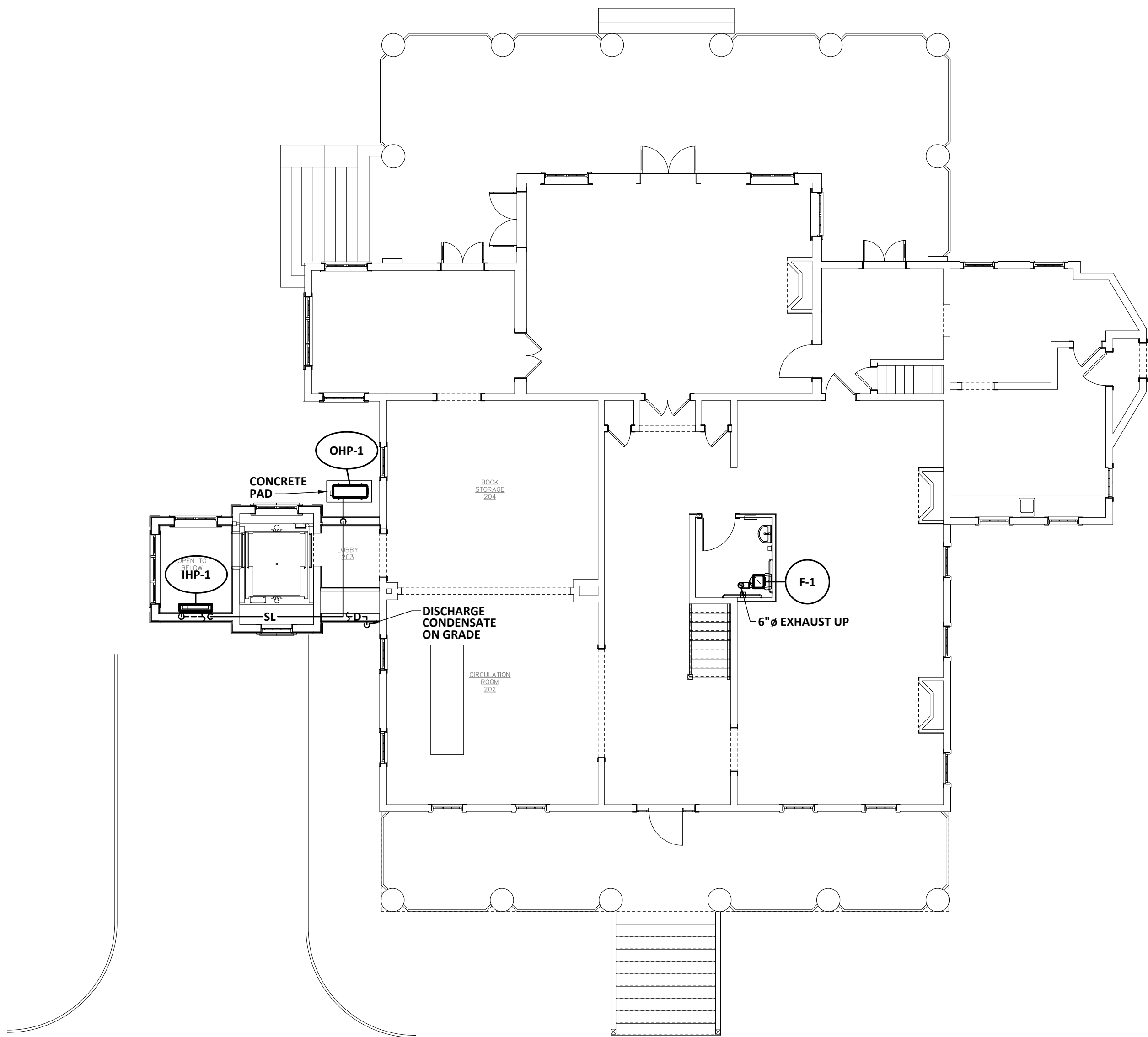
HVAC PLAN

PROJECT NUMBER 202056

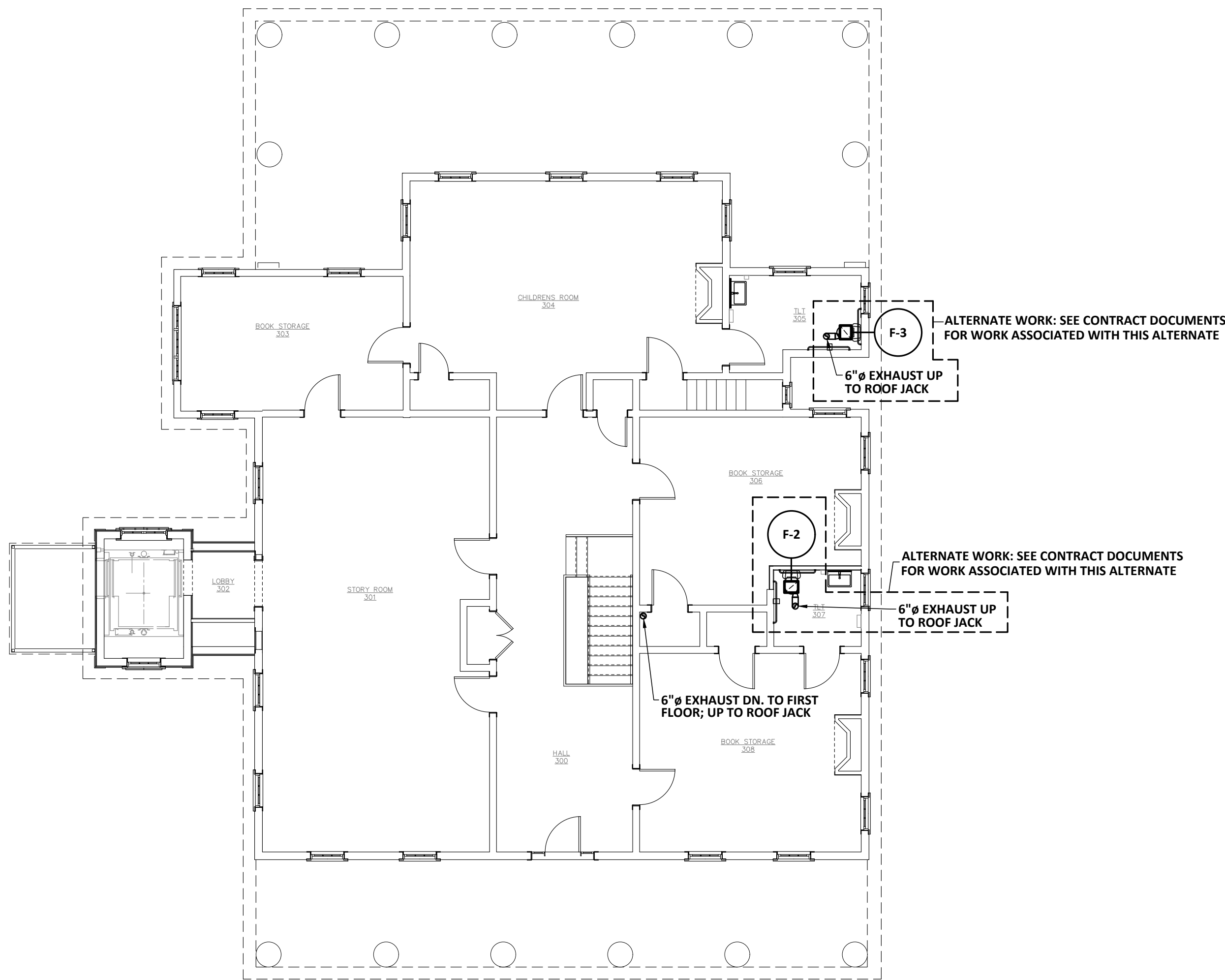
REVISIONS

DRAWN BY: WDP
CHECKED BY: WGC
ISSUE DATE: 03/01/2022
PLOT DATE: 03/01/2022

M1.1



HVAC PLAN FIRST FLOOR
SCALE: 1/8" = 1'-0"



HVAC PLAN SECOND FLOOR
SCALE: 1/8" = 1'-0"

-- INDOOR HEAT PUMP SCHEDULE --

ITEM	SUPPLY CFM	ESP (IN. WG)	OA CFM	FAN HP	DRIVE	COOLING CAP. MBH (1)		AUX. HEAT		TRANE MODEL NO.	REMARKS
						SENSIBLE	TOTAL	KW	STGS.		
IHP-1	381	--	--	1.0 A	DIRECT	--	6,000	--	--	DAIKIN MSZ-FS06NA	(2)

(1) RATINGS IN ACCORDANCE WITH A.R.I. STANDARD 240.
(2) FURNISH CONDENSATE PUMP BY UNIT MANUFACTURER.

-- OUTDOOR HEAT PUMP SCHEDULE --

ITEM	COOLING CAP. MBH (1)	EER MIN.	HEATING CAP. MBH (1)		COP (1)		TRANE MODEL NO.
			HI	LO	HI	LO	
OHP-1	6,000	33.1 SEER	8.7	5.9	4.68	2.69	DAIKIN MUZ-FS06NA

(1) RATINGS IN ACCORDANCE WITH A.R.I. STANDARD 240.

-- REFRIGERATION PIPE SCHEDULE --

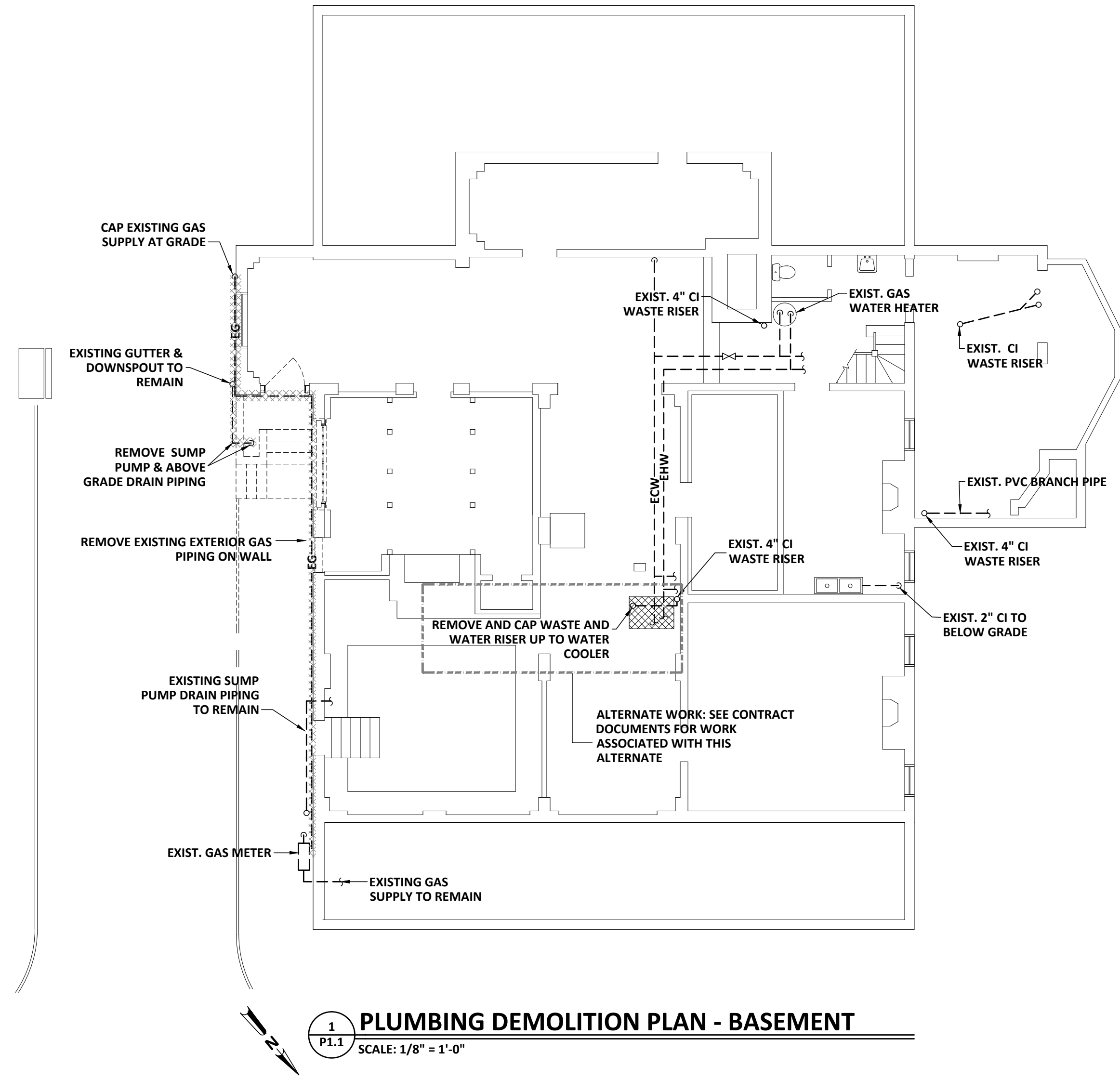
ITEM	SUCTION LINE OD	LIQUID LINE OD	REMARKS
IHP-1/OHP-1	3/8"	1/4"	(1)

(1) REFRIGERANT PIPE SIZES INDICATED ARE FOR ESTIMATING PURPOSES ONLY. EXACT SIZES AND ACCESSORIES REQUIRED SHALL BE DETERMINED BY EQUIPMENT MANUFACTURER FROM FIELD OBTAINED DIMENSIONS.

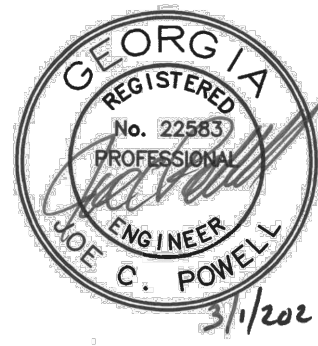
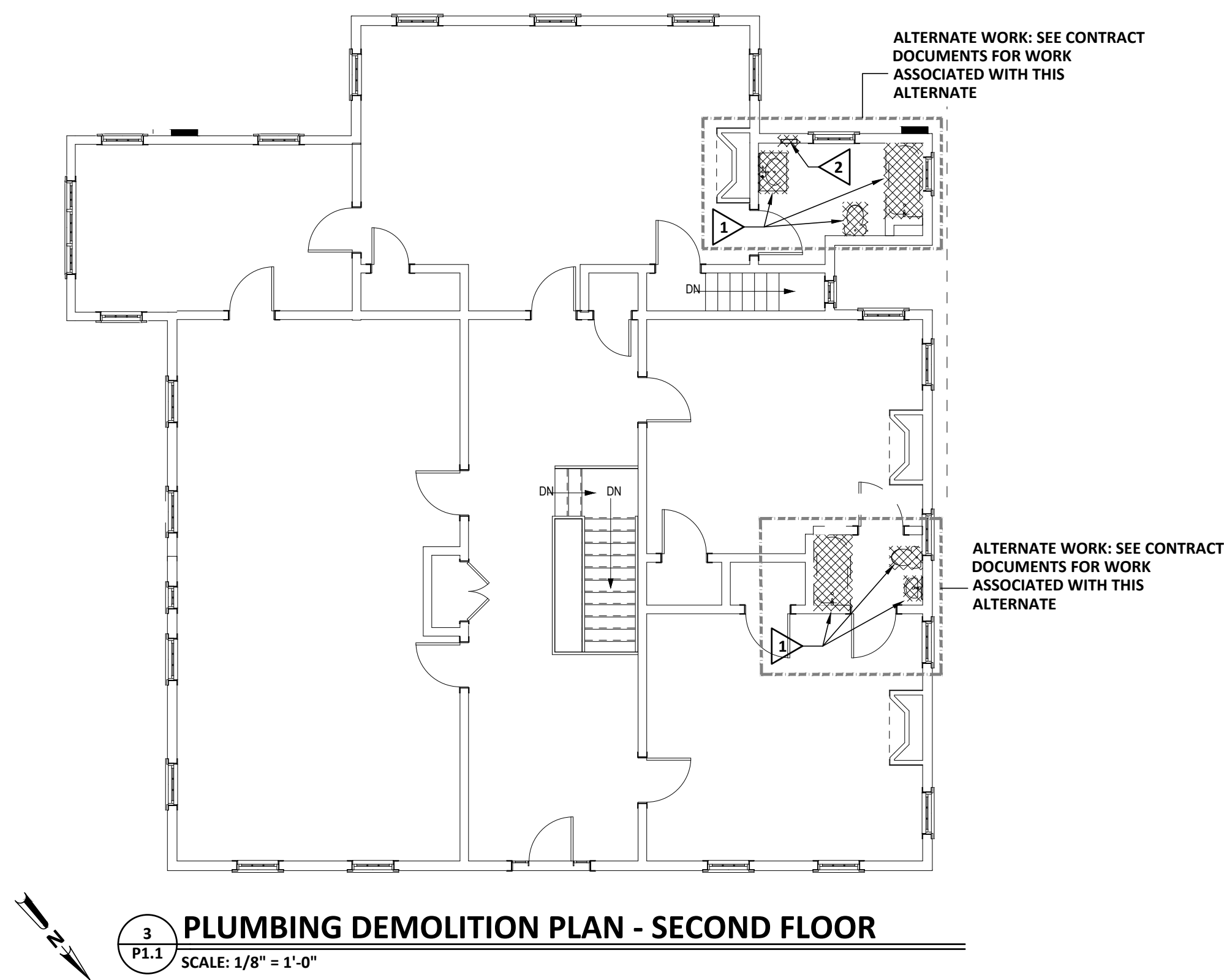
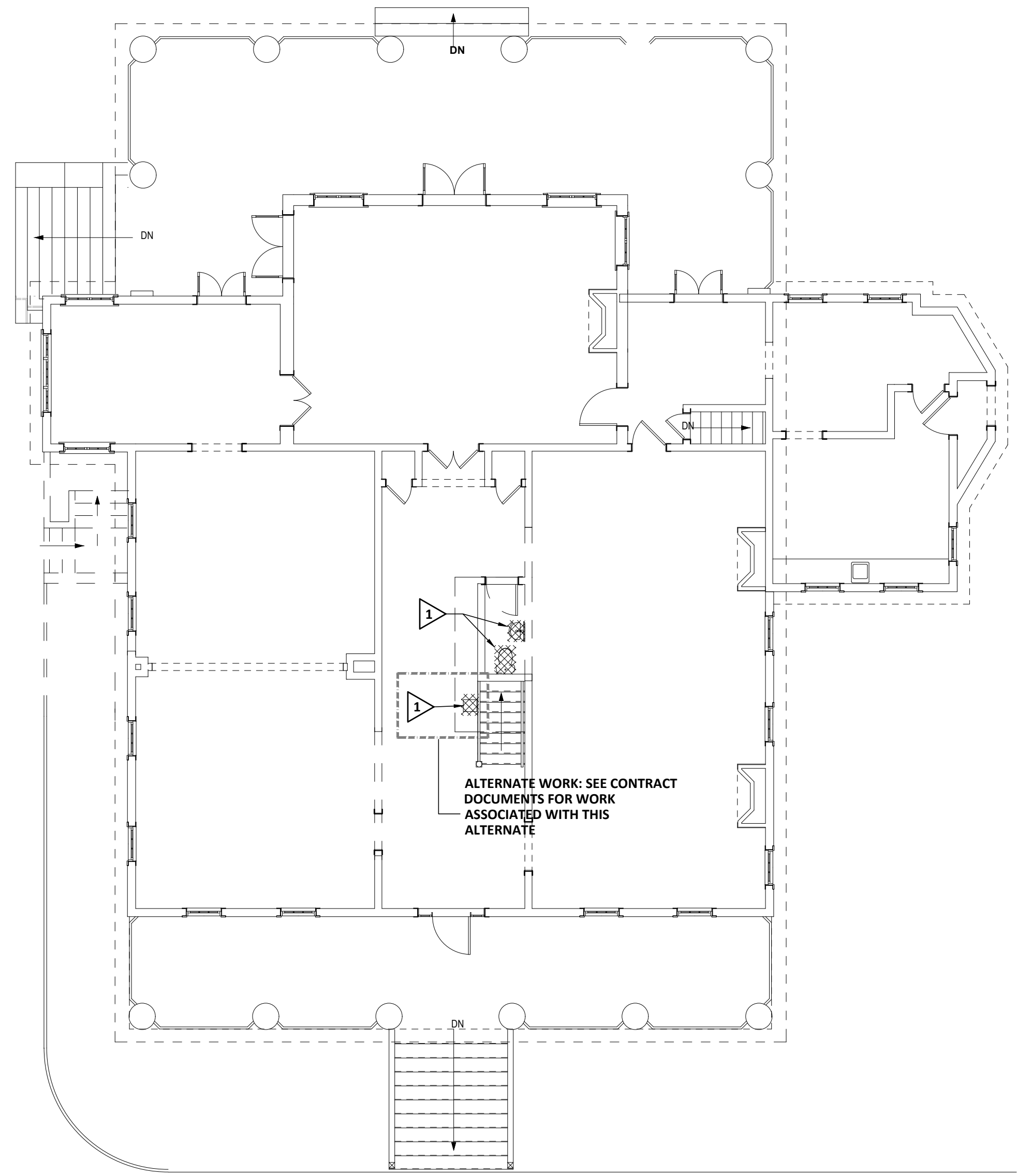
-- FAN SCHEDULE --

ITEM	LOCATION	CFM	ESP (IN. WG)	HP	RPM	MAX. RPM	MAX. SONES	GREENHECK MODEL NO.	REMARKS
F-1	TLT	75	0.4	80 WATTS	772	--	1.3	SP-B110	(1)(2)
F-2	TLT	75	0.4	80 WATTS	772	--	1.3	SP-B110	(1)(2)
F-3	TLT	75	0.4	80 WATTS	772	--	1.3	SP-B110	(1)(2)

(1) COMPLETE WITH BACKDRAFT DAMPER, HANGING BRACKETS, METAL CEILING GRILLE AND DISCONNECT MEANS.
(2) SWITCH WITH ROOM LIGHTS. FURNISH CONTACTORS AS REQUIRED.



- KEYNOTES:** (THIS SHEET ONLY)
- 1 REMOVE EXISTING FIXTURE AND ASSOCIATED WASTE, WATER, AND VENT PIPING TO BEHIND WALL, ABOVE CEILING, BELOW FLOOR AND CAP.
 - 2 REMOVE WALL HEATER AND CAP NATURAL GAS PIPING.



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PLUMBING DEMOLITION PLAN

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
RICHMOND COUNTY PUBLIC LIBRARY SYSTEM
APPLEBY BRANCH LIBRARY

2260 WALTON WAY
AUGUSTA, GEORGIA, 30904

PROJECT NUMBER 202056

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CHECKED BY:	JCP
ISSUE DATE:	03/01/2022
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P1.1



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PLUMBING NEW WORK PLAN

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
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APPLEBY BRANCH LIBRARY

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AUGUSTA, GEORGIA, 30904

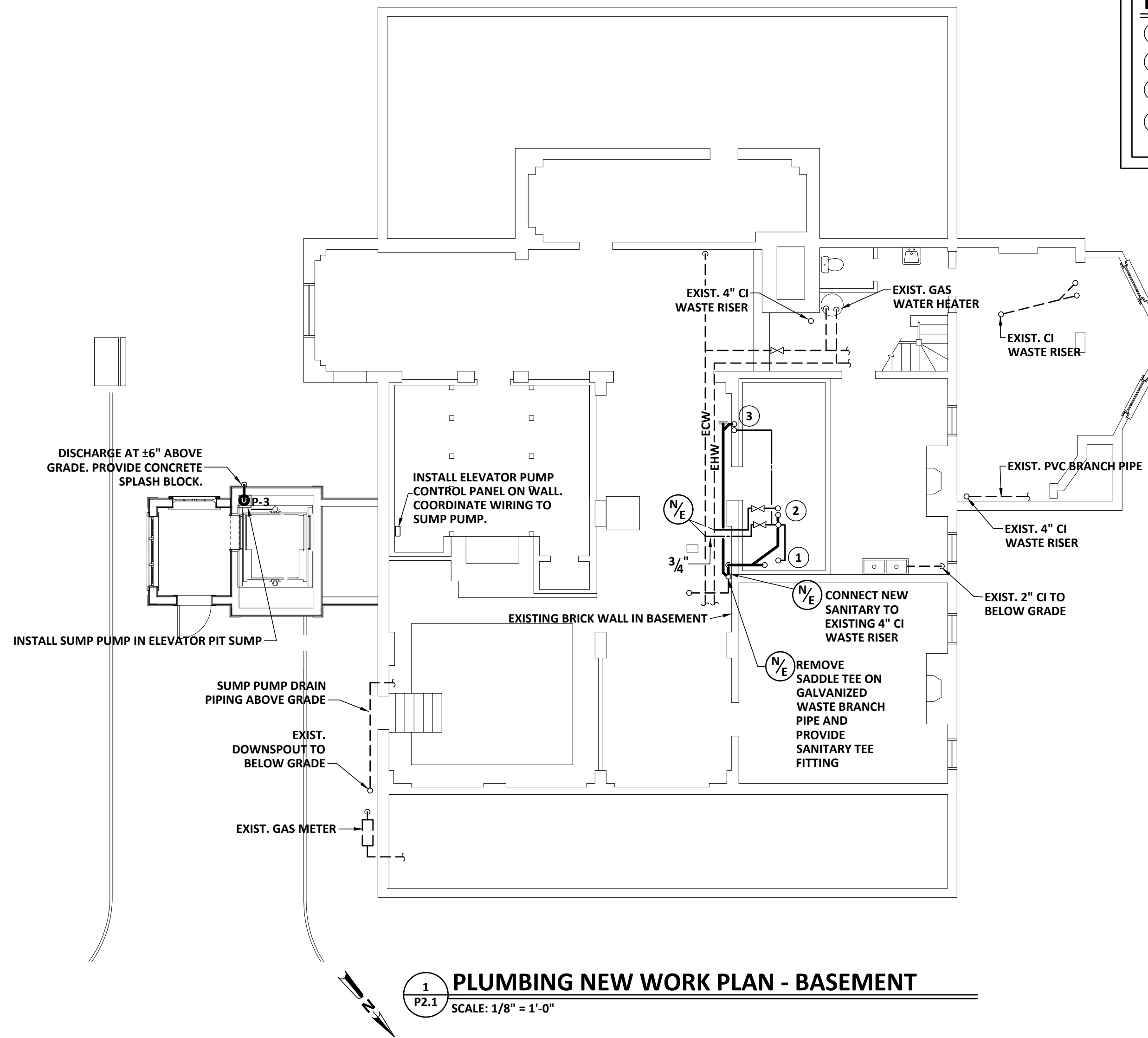
PROJECT NUMBER 202056

REVISIONS	
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PLOT DATE:	03/01/2022

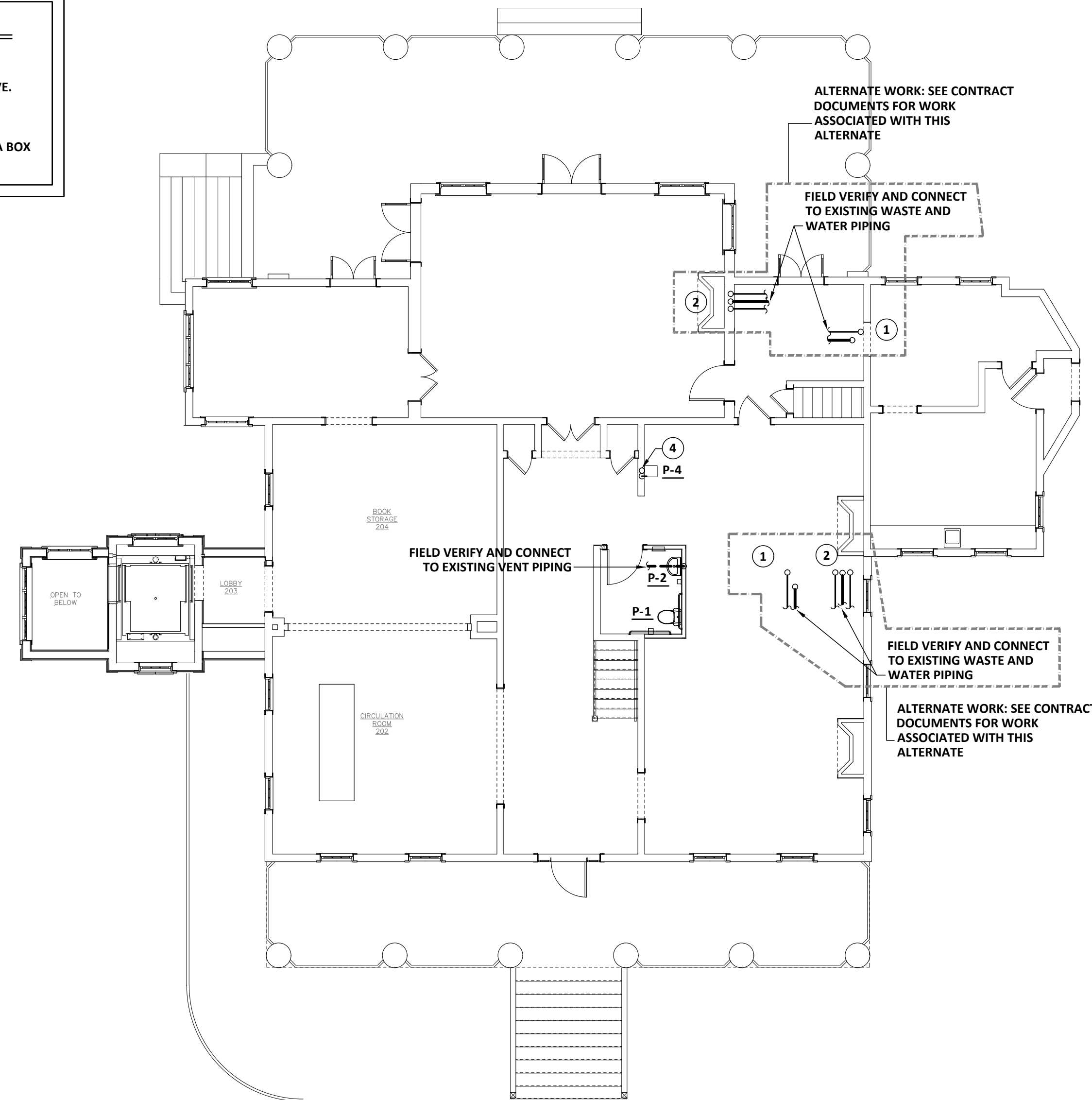
P2.1

KEYNOTES: (THIS SHEET ONLY)

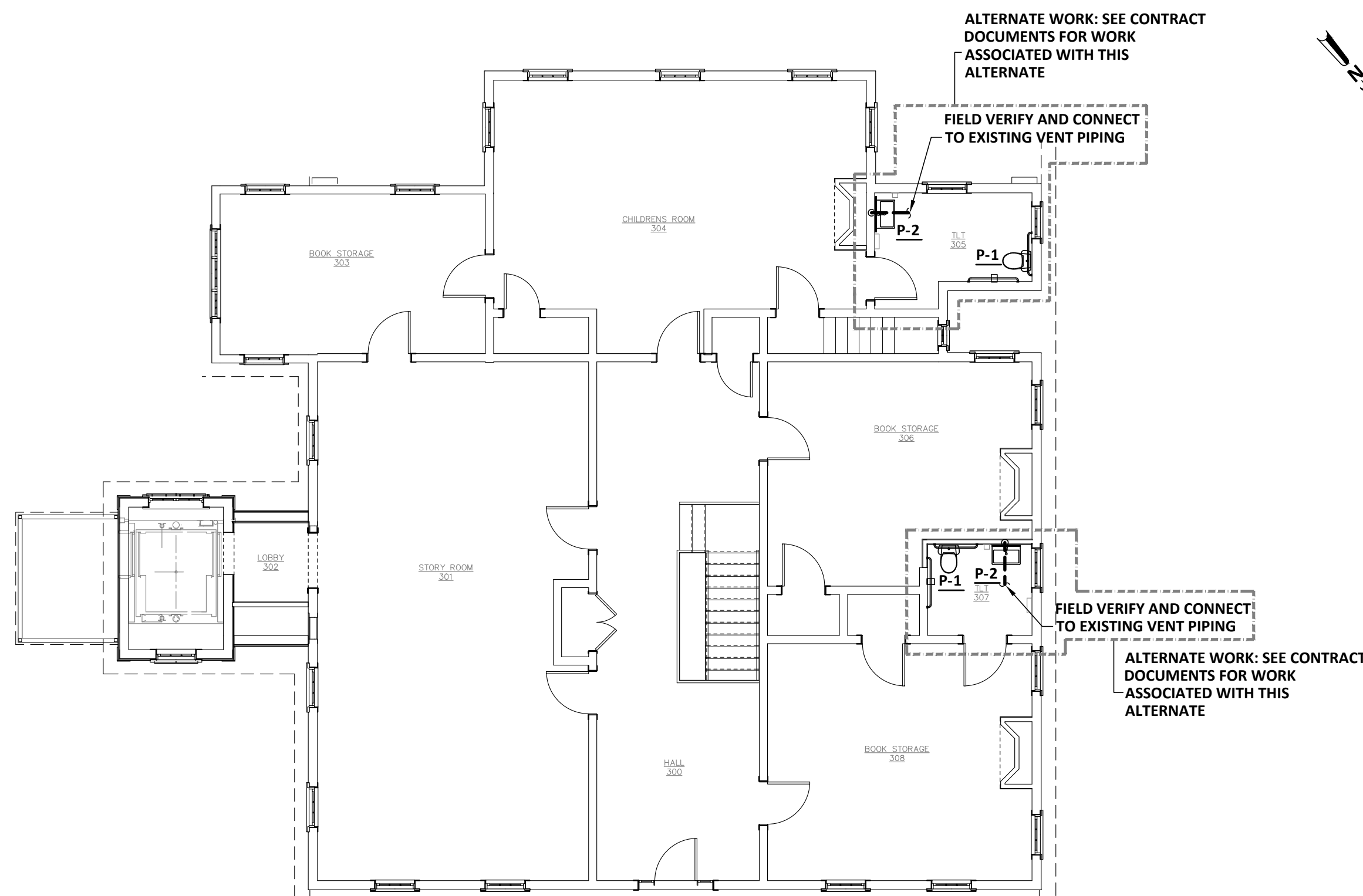
- 1 PROVIDE 3" WASTE AND 1/2" CW TO WATER CLOSET ABOVE.
- 2 PROVIDE 2" WASTE AND 1/2" CW AND HW TO WATER CLOSET ABOVE.
- 3 PROVIDE 2" WASTE AND 1/2" CW TO WATER COOLER ABOVE.
- 4 PROVIDE AIR ADMITTANCE VALVE AT 48" A.F. INSTALL OATEY MODA BOX WITH SUREVENT AND VENTED COVER.



1 PLUMBING NEW WORK PLAN - BASEMENT
SCALE: 1/8" = 1'-0"



2 PLUMBING NEW WORK PLAN - FIRST FLOOR
SCALE: 1/8" = 1'-0"

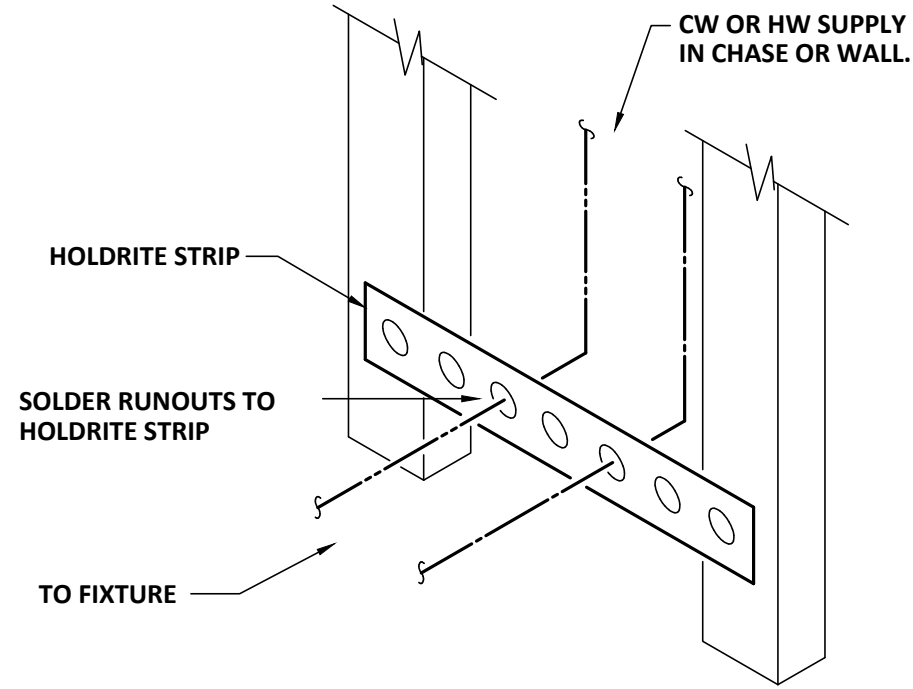


3 PLUMBING NEW WORK PLAN - SECOND FLOOR
SCALE: 1/8" = 1'-0"

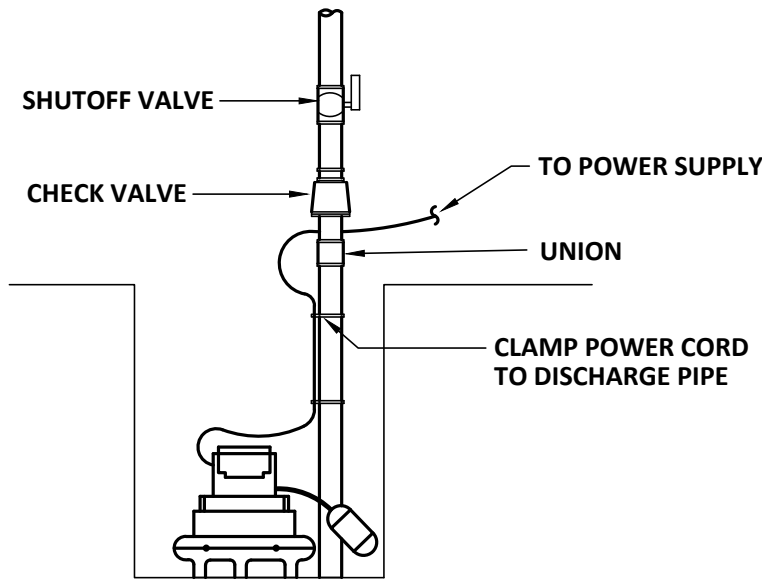
PFA
ENGINEERING
L.I.C. NO. PEF000760 EXP. 06/30/2022
1201 BROAD STREET, SUITE 3A
AUGUSTA, GEORGIA 30901
WWW.PFAENGINEERS.COM

REFERENCE SCALE
1" = 1'-0"
1/4 1/2 3/4
PLOT DATE: 03/01/22
FILENAME: 21042 P1
PLOT SCALE: 1 = 96
RWW

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1
P3.1
RUNOUT ANCHOR DETAILS
SCHEMATIC



NOTE: THIS DETAIL IS A SCHEMATIC ONLY.
COORDINATE INSTALLATION WITH ACTUAL JOB
CONDITIONS.

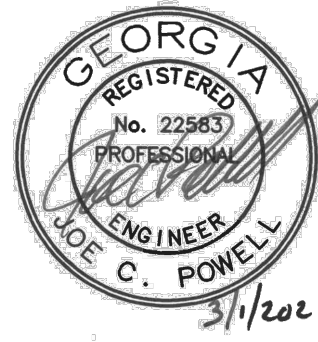
2
P3.1
SUMP PUMP INSTALLATION DETAIL
SCHEMATIC ONLY

PLUMBING FIXTURE SCHEDULE							
SYMBOL	FIXTURE	WASTE	VENT	COLD WATER	HOT WATER	RIM HGT.	BASIS OF DESIGN FIXTURE
		CONN. BRANCH					
P-1	WATER CLOSET (FLUSH TANK A.D.A. ADULT)	4" 4"	2"	1/2"	-	17"	KOHLER K-3999 BENEKE 527-SS WHITE SEAT
P-2	LAVATORY (WALL HUNG)(ADA)	1-1/4" 2"	1-1/2"	1/2"	1/2"	APRON BOTTOM 29"	KOHLER K-2032, SYMMONS S-20-VP-LP FAUCET McGUIRE 155A GRID DRAIN ①
P-3	ELEVATOR SUMP PUMP	2" 2"	-	-	-	-	ZOELLER 940-0006 MODEL N152 PUMP 50 GPM @ 30FT. HEAD ②
P-4	WATER COOLER (A.D.A.) W/ BOTTLE FILLER	1-1/2" 2"	1-1/2"	1/2"	-	27" APRON	ELKAY EMABF8WSLK

PLUMBING FIXTURE SCHEDULE KEYNOTES
① PROVIDE "TRUEBRO LAV GUARD" PROTECTIVE PIPE COVERS ON WASTE AND SUPPLY PIPING.
② INCLUDE N152 OIL GUARD PUMP AND SIMPLEX OIL SMART CONTROL BOX WITH CONNECTING CABLES AND PROBES AS REQUIRED. COORDINATE PUMP AND ALARM CONDUIT WIRING WITH ELECTRICAL CONTRACTOR.

PLUMBING LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
--- ESS ---	EXIST. SOIL, WASTE, OR SANITARY SEWER	=====	WASTE OR SANITARY SEWER
--- ECW ---	EXISTING COLD WATER	-----	COLD WATER
--- EHW ---	EXISTING HOT WATER	-----	HOT WATER
--- EG ---	EXIST. GAS	-----	VENT
(N/E)	NEW WORK CONNECTION TO EXISTING WORK	---X---	SHUTOFF VALVE
CI	CAST IRON		

GENERAL PLUMBING NOTES	
NOT ALL EXISTING WORK IS SHOWN AND THAT SHOWN IS IN ITS APPROXIMATE LOCATION AND ARRANGEMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS, ARRANGEMENTS, SIZES AND CONDITIONS AND IN CASE OF DISCREPANCY TO CONTACT THE ARCHITECT FOR RELOCATION AND REMOVAL OF SAID ELEMENTS IN ACCORDANCE WITH THE BASIC INTENTIONS INDICATED BY THE DRAWINGS AND DETAILS. NOT ALL EXISTING WORK IS SHOWN AND THAT SHOWN IS IN ITS APPROXIMATE LOCATION AND ARRANGEMENT. EXACT LOCATION, ARRANGEMENT, AND SIZES SHALL BE VERIFIED ON THE JOB BEFORE PROCEEDING WITH ANY NEW WORK. EXACT LOCATIONS AND ROUGHING REQUIREMENTS FOR ALL FIXTURES AND EQUIPMENT SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS, LARGE SCALE ARCHITECTURAL DETAILS AND APPROVED MANUFACTURER'S SHOP DRAWINGS. PARTICULAR ATTENTION SHALL BE DIRECTED TO FIXTURES OR EQUIPMENT FURNISHED UNDER OTHER DIVISIONS.	
EXERCISE CARE SO AS NOT TO CUT ANY EXISTING UTILITIES OR SERVICES. WHERE AN EXISTING UTILITY LINE OR SERVICE LINE IS CUT IT SHALL BE REPAIRED TO "LIKE-NEW" CONDITION. INTERRUPTION OF SERVICE SHALL NOT BE MADE WITHOUT PRIOR WRITTEN PERMISSION OF THE OWNER.	
EXACT LOCATIONS AND ROUGHING REQUIREMENTS FOR ALL FIXTURES AND EQUIPMENT SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS, LARGE SCALE ARCHITECTURAL DETAILS AND APPROVED MANUFACTURER'S SHOP DRAWINGS. INVERT ELEVATIONS SHOWN SHALL BE VERIFIED ON THE JOB BEFORE INSTALLING ANY NEW PIPE. INSTALL TEST-TEES WHEN THE SANITARY SEWER SYSTEM IS TO BE TESTED IN SECTIONS. PIPING IS SHOWN IN ITS GENERAL LOCATION (UNLESS DIMENSIONED).	
EXACT LOCATION SHALL BE DETERMINED BY JOB CONDITIONS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF HIS WORK WITH THAT OF OTHER TRADES AND ARRANGE PIPING TO CLEAR STRUCTURAL MEMBERS AND DUCTWORK. RISERS FOR FIXTURES, UNLESS OTHERWISE NOTED, SHALL BE CONCEALED IN WALLS OR PIPE CHASES.	
PROVIDE SLEEVES FOR PIPES PASSING THRU FLOORS, MASONRY WALLS AND FIRE OR SMOKE PARTITIONS. PACK ANNULAR SPACE BETWEEN PIPE WITH MATERIAL APPROVED IN U.L. BUILDING DIRECTORY.	



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PLUMBING SCHEDULE AND DETAILS

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
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PROJECT NUMBER 202056

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P3.1



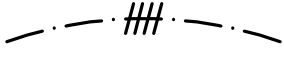
PLOT DATE: 03/01/22
FILENAME: 21042 P1
PLOT SCALE: 1 = 96
RWW

LEGEND



LIGHTING AND POWER

CONDUIT RUN CONCEALED ABOVE CEILING OR IN WALL CONTAINING 3 NUMBER 12 CONDUCTORS UNLESS SHOWN OTHERWISE. HASH MARKS, IF SHOWN, INDICATE QUANTITY OF NUMBER 12 CONDUCTORS. WHERE DRAWING SPACE PROHIBITS HASH MARKS BEING SHOWN REFER TO CIRCUIT NUMBERS AND PROVIDE REQUIRED NUMBER OF CONDUCTORS PER CIRCUIT TYPE.



CONDUIT RUN CONCEALED IN OR BELOW FLOOR SLAB, OR UNDERGROUND.



HOMERUN TO PANELBOARD. LETTER OR LETTERS INDICATE PANELBOARDS, NUMBERS INDICATE CIRCUIT NUMBERS.



L.E.D. LIGHTING FIXTURE, "2" INDICATES THE CIRCUIT NUMBER AND "E" THE FIXTURE TYPE. SEE FIXTURE SCHEDULE FOR DIMENSIONS AND MOUNTING TYPE.



EMERGENCY L.E.D. LIGHTING FIXTURE. SEE FIXTURE SCHEDULE FOR DIMENSIONS, MOUNTING TYPE AND BATTERY PACK INFORMATION (IF APPLICABLE).



JUNCTION BOX, FLUSH WALL MOUNTED.



JUNCTION BOX LOCATED ABOVE CEILING OR BELOW GRADE.



DUPLEX CONVENIENCE OUTLET, +18" TO CENTER LINE OF OUTLET UNLESS OTHERWISE NOTED. "5" INDICATES THE CIRCUIT NUMBER.



DUPLEX CONVENIENCE OUTLET, GFI TYPE, +18" TO CENTER LINE UNLESS OTHERWISE NOTED. "WP" WHERE SHOWN INDICATES WEATHER-RESISTENT DEVICE WITH METAL IN-USE WEATHERPROOF COVER.



DUPLEX CONVENIENCE OUTLET, GFI TYPE, MOUNTED ABOVE COUNTER AT +46" TO CENTERLINE OF RECEPTACLE UNLESS NOTED OTHERWISE.



SINGLE POLE TOGGLE SWITCH, +46" TO CENTER LINE MOUNTING HEIGHT.



PANELBOARD. SEE SCHEDULE.



DISCONNECT SWITCH. SIZE AS NOTED ON DRAWINGS. FUSED PER MANUFACTURER'S NAME PLATE DATA OF EQUIPMENT SERVED.



MOTOR



FIRE ALARM SYSTEM



HEAT DETECTOR, CEILING MOUNTED.



SMOKE DETECTOR, CEILING MOUNTED.



FIRE ALARM CONTROL PANEL. SURFACE WALL MOUNTED.



OCCUPANCY SENSORS



SWITCH, WALL MOUNTED OCCUPANCY SENSOR (WATTSTOPPER PW-100 OR EQUAL), +46" TO CENTER LINE MOUNTING HEIGHT.



DUAL TECHNOLOGY 360° OCCUPANCY SENSOR. CEILING MOUNTED. INFRARED/ULTRASONIC (WATTSTOPPER "DT" SERIES OR EQUAL). PROVIDE ALL NECESSARY COMPONENTS TO INSURE PROPER OPERATION (POWER PACKS, SLAVE PACKS, ETC.)



DUAL TECHNOLOGY OCCUPANCY SENSOR, CEILING MOUNTED AT CORNER UNLESS SHOWN OTHERWISE. INFRARED/ULTRASONIC (WATTSTOPPER "DT" SERIES OR EQUAL). PROVIDE ALL NECESSARY COMPONENTS TO INSURE PROPER OPERATION (POWER PACKS, SLAVE PACKS, ETC.)



ULTRASONIC OCCUPANCY SENSOR. CEILING MOUNTED (WATTSTOPPER "UT" SERIES OR EQUAL). PROVIDE ALL NECESSARY COMPONENTS TO INSURE PROPER OPERATION (POWER PACKS, SLAVE PACKS, ETC.)

GENERAL NOTES:

- DO NOT SCALE DRAWINGS TO LOCATE EQUIPMENT OR OUTLETS.
- MOUNTING HEIGHTS AS INDICATED ON THE DRAWINGS SHALL BE FROM THE FINISHED FLOOR TO THE CENTER LINE OF THE OUTLET BOX.
- THE ELECTRICAL DRAWINGS ARE ONLY A PART OF THE CONTRACT DOCUMENTS. ALL OF THE DRAWINGS AND SPECIFICATIONS MUST BE REVIEWED FOR THEIR INTERRELATIONSHIP AND REQUIRED COORDINATION BETWEEN DISCIPLINES.
- 112

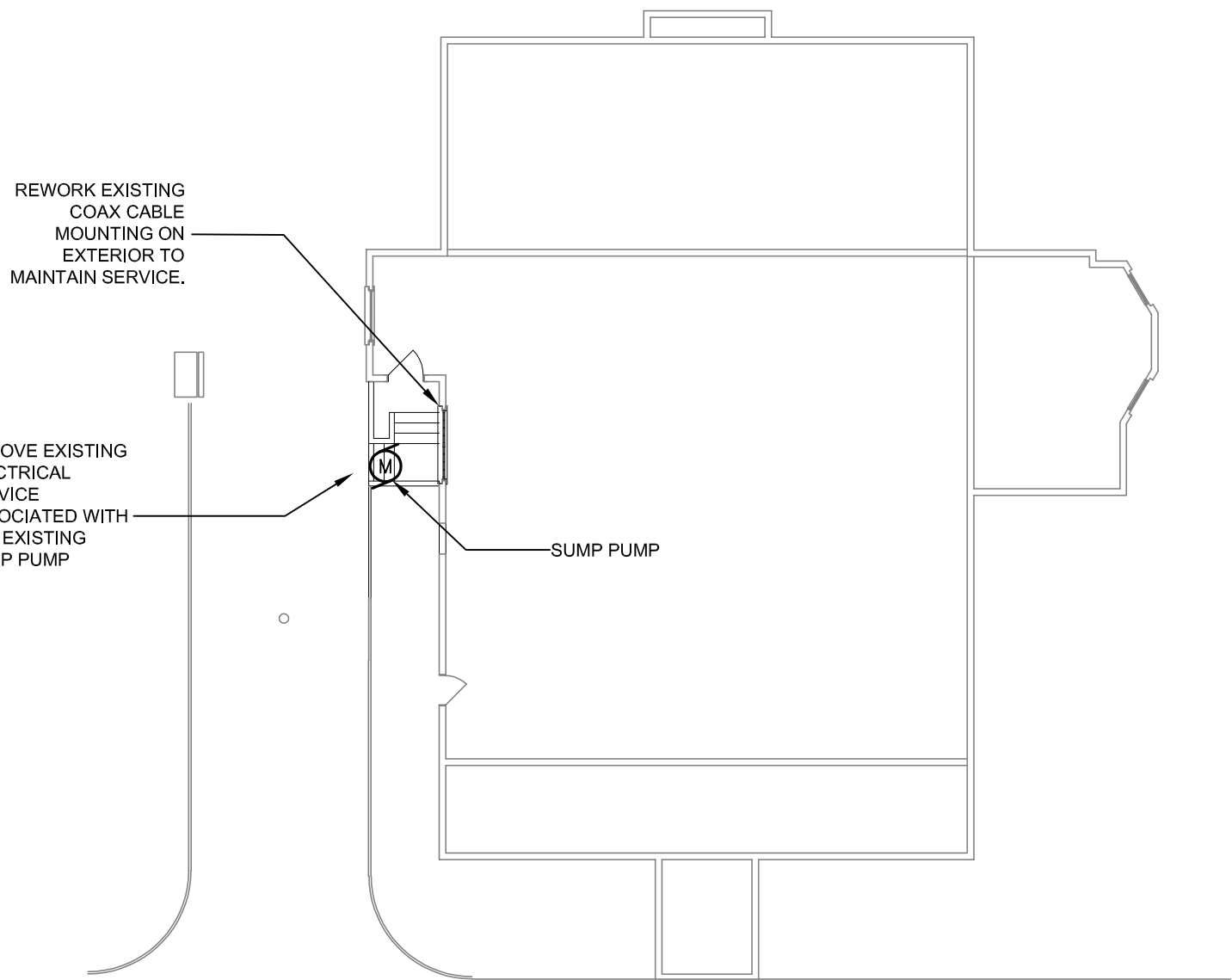
 SYMBOL INDICATING ROOM OR SPACE NUMBER.
- IN AREAS WHERE COMPUTER OUTLETS AND TELEPHONE OUTLETS ARE LOCATED BENEATH A WINDOW, AND WINDOW PREVENTS THE ROUTING OF CONDUIT UP TO CEILING SPACE, CONDUIT SHALL BE ROUTED TO A WALL WHICH ALLOWS CONDUIT TO RISE UP TO CEILING SPACE.
- ALL CONDUIT ROUTED FROM DISCONNECT TO EXTERIOR HVAC UNITS SHALL BE ROUTED UNDERGROUND. TURN UP ADJACENT TO UNIT AND MAKE TRANSITION TO SEALTITE TO SERVE UNIT. CONDUIT SHALL BE ROUTED CONCEALED IN WALL.
- ALL FLUSH RECESSED OUTLET BOXES SHALL BE INSTALLED SUCH THAT FRONT EDGE OF BOX WILL NOT BE SET BACK OF THE FINISHED SURFACE MORE THAN 1/4" IN ORDER TO COMPLY WITH N.E.C. 314-20. SUPPORT OF OUTLET BOX BY RECEPTACLE AND COVERPLATE IS NOT ACCEPTABLE.
- ALL CONDUIT, OUTLET BOXES, AND LOW VOLTAGE CABLING SHALL BE APPROPRIATELY SUPPORTED THROUGHOUT THE PROJECT. SUPPORT OF THESE ITEMS BY CEILING GRID OR GRID SUPPORT WIRES IS NOT ACCEPTABLE.
- ALL EXTERIOR DISCONNECTS SHALL BE RATED NEMA 3R.
- COORDINATE EXACT LOCATION OF ALL MECHANICAL AND PLUMBING EQUIPMENT WITH DIVISION 23 PRIOR TO ROUGH IN. ADJUST LOCATION OF DISCONNECTING MEANS AND BRANCH CIRCUITRY AS REQUIRED.
- REFER TO ARCHITECTURAL "ALTERNATE" SECTION FOR ALTERNATES WHICH AFFECT ELECTRICAL. PRICE SUCH ACCORDINGLY.
- PRIOR TO PROJECT COMPLETION, ELECTRICAL CONTRACTOR SHALL OBTAIN FINAL SPACE NUMBERS FROM OWNER AND/OR ARCHITECT. TYPEWRITTEN PANELBOARD DIRECTORIES SHALL REFLECT SPACE DESIGNATION OF EACH CIRCUIT. NO EXCEPTIONS.

DEMOLITION NOTES:

- THE CONTRACTOR SHALL FIELD VERIFY EXACT ROUTINGS OF EXISTING RACEWAYS BEFORE STARTING ANY WORK AND NOTIFY THE ARCHITECT OF ANY KNOWN DISCREPANCIES.
- THE CONTRACTOR SHALL UTILIZE AS MUCH OF THE EXISTING OUTLETS AND RACEWAYS AS POSSIBLE TO RECONNECT EXISTING AND NEW CIRCUITS.
- THE CONTRACTOR SHALL REMOVE EXISTING CONDUCTORS AND INSTALL NEW CONDUCTORS AS SHOWN OR AS REQUIRED TO COMPLETE REVISED CIRCUITS AND TO CONFORM TO N.E.C.
- ALL EXISTING EQUIPMENT REMOVED FROM SERVICE AND NOT INTENDED FOR REUSE SHALL REMAIN THE PROPERTY OF OWNER AND SHALL BE STORED OR DISPOSED OF AS DIRECTED BY THE OWNER.
- MAINTAIN SERVICE TO ALL EXISTING CIRCUITS THAT ARE NOT SCHEDULED FOR REMOVAL.
- PROVIDE BLANK COVERS ON ALL JUNCTION BOXES AND OUTLET BOXES NOT INTENDED FOR REUSE.
- EXISTING CEILING, WALLS AND FLOORS DISTURBED OR DISFIGURED BY THE ELECTRICAL RENOVATIONS SHALL BE PATCHED, MENDED OR REPLACED BY TRADES ACTIVELY PARTICIPATING IN THIS TYPE OF WORK. RESPONSIBILITY FOR REPAIRS SHALL BE COORDINATED BETWEEN GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR.
- EXISTING EQUIPMENT SHOWN ON ARCHITECTURAL, MECHANICAL PLUMBING AND ELECTRICAL DRAWINGS THAT WILL REMAIN SHALL HAVE SERVICE MAINTAINED OR RECONNECTED TO EXISTING OR NEW PANELBOARD AS NECESSARY.
- ALL EXISTING LIGHT FIXTURES REMOVED FROM AREAS WHERE NEW CEILINGS AND LIGHT FIXTURES ARE TO BE INSTALLED SHALL REMAIN THE PROPERTY OF THE OWNER. (SEE NOTE #4)
- TO MAINTAIN SERVICE, TO EXTEND, OR TO RECONNECT CIRCUITS WHERE CONDUIT CAN NOT BE CONCEALED, SURFACE METAL RACEWAY (WIREMOLD) SHALL BE USED. VERIFY WITH ARCHITECT PRIOR TO INSTALLATION.
- ELECTRICAL CONTRACTOR SHALL REVIEW ARCHITECTURAL DRAWINGS FOR DOOR SWINGS, CABINETS, COUNTERS AND OTHER BUILT-IN EQUIPMENT. CONDITIONS INDICATED ON ARCHITECTURAL DRAWINGS SHALL GOVERN.
- COORDINATE ELECTRICAL WITH ARCHITECTURAL DETAILS, FLOOR PLANS, ELEVATIONS, STRUCTURAL MECHANICAL AND PLUMBING DRAWINGS. PROVIDE FITTINGS, JUNCTION BOXES AND ACCESSORIES TO MEET CONDITIONS.
- DEVICES LOCATED AT COUNTERS SHALL BE MOUNTED ABOVE COUNTER TOPS UNLESS KNEE SPACE IS PROVIDED WITH DRILLED HOLE IN COUNTER TOP FOR SERVICE CORDS. VERIFY WITH ARCHITECT.
- ELECTRICAL CONTRACTOR SHALL PROVIDE PLUGS OR RECEPTACLES TO MATCH DEVICES FURNISHED WITH OWNER FURNISHED EQUIPMENT AND EQUIPMENT FURNISHED BY OTHERS. (VERIFY)
- WHERE CONDUIT RUNS ARE SHOWN EXPOSED IN AN AREA WITHOUT CEILING, ANY CONDUIT RUN GOING DOWN IN A WALL SHALL BE CONCEALED.
- WHERE EXISTING CONCRETE FLOOR SLAB IS SAW CUT AND CONCRETE IS CHIPPED OUT FOR ELECTRICAL UNDER FLOOR EQUIPMENT ANY ELECTRICAL CONDUIT, WIRING AND PLUMBING PIPING THAT IS DAMAGED SHALL BE PATCHED, MENDED OR REPLACED BY TRADES ACTIVELY PARTICIPATING IN THIS TYPE OF WORK. RESPONSIBILITY FOR REPAIRS SHALL BE COORDINATED BETWEEN GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR.
- CONTRACTOR SHALL SURVEY EXISTING SPACES FOR ABANDONED SYSTEMS CABLING CURRENTLY LOCATED ABOVE CEILING. CONTRACTOR TO VERIFY IF CABLING IS OPERABLE AND IN USE. ANY CABLE NOT IN USE SHALL BE REMOVED IN ITS ENTIRETY. ANY CABLE IN USE SHALL REMAIN AND SHALL BE SUPPORTED ACCORDINGLY TO MEET NEC. CONTRACTOR TO PROVIDE HANGERS AND J-HOOKS TO SUPPORT EXPOSED CABLING. ALL CABLING SHALL BE BUNDLED TOGETHER WITH PLENUM RATED TIE WRAPS AND SUPPORTED FROM STRUCTURE ABOVE. SUPPORT OF CABLING FROM CEILING HANGER WIRE, CONDUIT, SPRINKLER PIPE, DUCT WORK, ETC. WILL NOT BE ACCEPTABLE.
- CONTRACTOR TO SURVEY EXISTING AREAS ABOVE CEILING FOR EXISTING ELECTRICAL CONDUIT AND JUNCTION BOXES WHICH ARE TO REMAIN. ANY CONDUIT OR JUNCTION BOXES NOT CURRENTLY IN COMPLIANCE WITH NEC SHALL BE SUPPORTED ACCORDINGLY TO MEET CODE. CONTRACTOR TO PROVIDE ADDITIONAL HANGERS TO SUPPORT AS NECESSARY.
- CONTRACTOR TO REVIEW EXISTING CONDUIT PENETRATIONS OF RATED WALL AT RENOVATED SPACES. CONTRACTOR TO PROPERLY FIRE STOP ANY EXISTING CONDUIT PENETRATIONS OF RATED WALLS IN ORDER TO MAINTAIN INTEGRITY OF RATED WALL.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXTENT OF DEMOLITION.

FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER
A	6" L.E.D. RECESSED COMMERCIAL GRADE DOWNLIGHT, CLEAR SPECULAR REFLECTOR WITH WHITE TRIM. FIXTURE SHALL BE CONSTRUCTED WITH GALVANIZED STEEL FRAME WITH OPEN DOWNLIGHT REFLECTOR AND PASSIVE COOLING. FIXTURES SHALL BE DAMP LISTED. WHERE SHADED PROVIDE A BATTERY PACK THAT WILL PROVIDE 90 MINUTES OF ILLUMINATION UPON LOSS OF POWER. PROVIDE WITH A TEST SWITCH AND INDICATOR LIGHT. LUMEN OUTPUT: L.E.D., 22 WATT, 2000 LUMENS, 4000°K DRIVER: MULTIVOLT, STANDARD 0-10V DIMMING	LITHONIA "LDN6" SERIES ELITE "HH6-LED" SERIES HALO. COMMERCIAL "HC6" SERIES H.E. WILLIAMS "6DR" SERIES CREE "SOL6" SERIES
B	L.E.D. HIGH IMPACT FIXTURE WITH REINFORCED FIBERGLASS HOUSING AND HIGH IMPACT RIBBED FROSTED DIFFUSER. FIXTURE SHALL HAVE WIDE DISTRIBUTION. FIXTURE SHALL BE U.L. LISTED FOR WET LOCATIONS. FIXTURE SHALL HAVE A MAXIMUM OF 85 WATTS. LAMPS: L.E.D. WITH MINIMUM 5500 LUMENS AT 4,000°K DRIVER: UNV VOLT ELECTRONIC	METALUX "VT" LITHONIA COLUMBIA HUBELL H.E. WILLIAMS

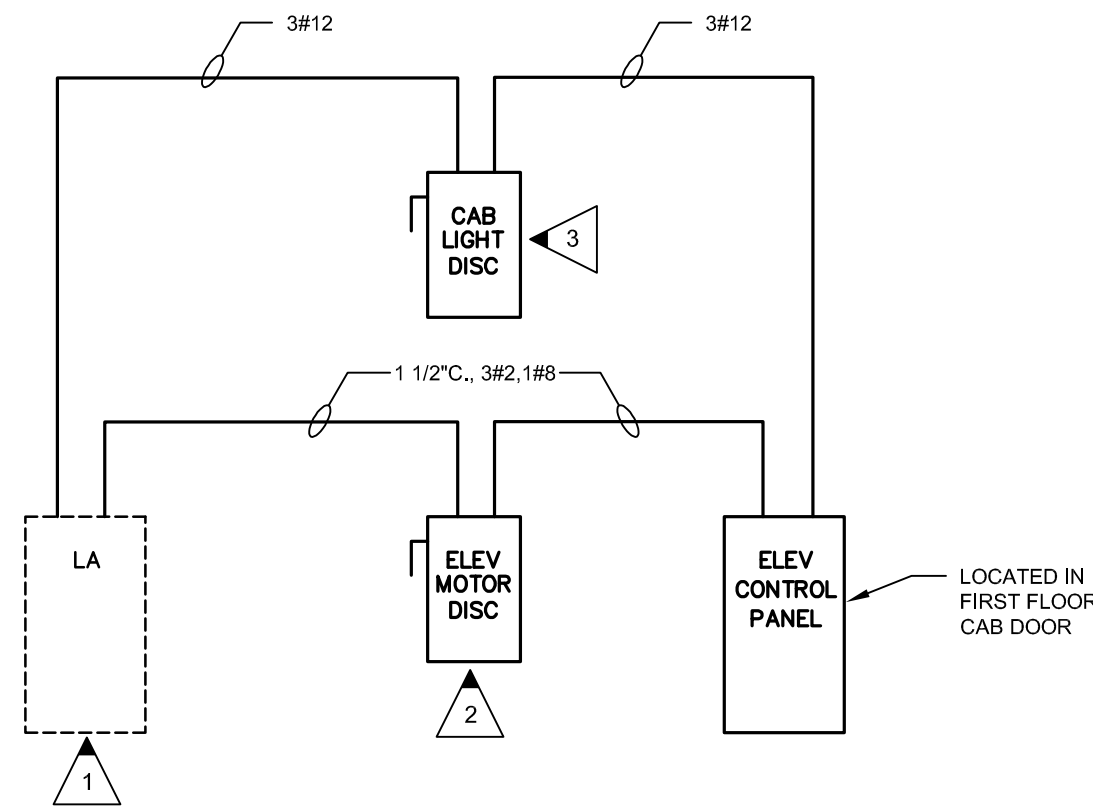


3 ELECTRICAL DEMOLITION PLAN - BASEMENT

SCALE: 1/16"=1'-0"

ELEVATOR NOTES:

- THE CONTRACTOR SHALL:
COORDINATE AMONG THE CONTRACTOR, SUBCONTRACTORS AND ELEVATOR SUPPLIER.
 - SUBMIT AND COORDINATE ELEVATORS BOTH IN ADVANCE OF INSTALLATION AND BEFORE STUBBING OF THE CIRCUITS. SUBMIT ELECTRICAL EQUIPMENT FOR ELEVATORS ACTUALLY PROVIDED.
 - COORDINATE ELEVATOR WORK REGARDLESS OF THE DIVISION UNDER WHICH WORK IS SHOWN.
- PROVIDE ELEVATOR WORK IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE INTERNATIONAL BUILDING CODE CHAPTER 30.
- THE CONTRACTOR SHALL PROVIDE THE FOLLOWING WORK:
 - ELEVATOR CONTROL STATIONS AND RELATED CIRCUITING
 - CONTROL CIRCUITING AND INTERLOCKS INCLUDING CONTROL "CARDS"
 - OTHER ITEMS REQUIRED BY THE ELEVATOR SUPPLIER OR CODES
 - EQUIPMENT ARRANGEMENT IN THE ELEVATOR CONTROL ROOM AS RECOMMENDED BY THE ELEVATOR SUPPLIER AND REQUIRED BY APPLICABLE CODES.
- PER ANSI A17.1 RULE 1061E, EACH ELEVATOR PIT SHALL BE PROVIDED A PERMANENT FIXTURE AND GFI RECEPTACLE BELOW THE ELEVATOR WITH A SWITCH ACCESSIBLE AT THE TOP OF THE PIT LADDER OR THRU THE PIT ACCESS DOOR.
- ELEVATOR CONTROL:
 - CONNECT FOUR DRY CONTACTS FROM THE MAIN SMOKE SENSING PANEL TO THE ELEVATOR CONTROLLER FOR OPERATION OF FIRE SERVICE. PER ANSI A17.1 RULE 211.3a.
- COMMUNICATIONS:
 - PROVIDE WORKING TELEPHONE OR INTERCOMS IN EACH CAR WITH NECESSARY WIRING PULLED TO THE ELEVATOR CONTROLLER PER ANSI A17.1 RULE 211.1.
 - PROVIDE CONDUIT AND CATEGORY-6 CABLE TO THE COMMUNICATIONS ROOM WITH ONE CABLE PER ELEVATOR CAB. HOMERUNS MAY CONTAIN MULTIPLE CABLES.
- SMOKE DETECTION:
 - PROVIDE SMOKE SENSING DEVICES IN EACH LOBBY AND HOISTWAY DEDICATED TO INITIATE FIREMAN'S EMERGENCY RETURN PER ANSI A17.1 RULE 211.3b.
 - PER ANSI A17.1 RULE 211.3a CONNECT TWO DRY CONTACTS FROM THE MAIN SMOKE SENSING PANEL TO THE ELEVATOR CONTROLLER FOR FIRE SERVICE.
- IN EVENT OF POWER LOSS:
 - PROVIDE ELEVATOR CONTROLS SUCH THAT UPON POWER LOSS, THE ELEVATOR WILL OPEN AT EGRESS LEVEL.
- CONTRACTOR SHALL ARRANGE BREAKERS TO PROVIDE MAXIMUM CLEARANCE. LAYOUT SHOWN IS A CIRCUITING GUIDE ONLY.

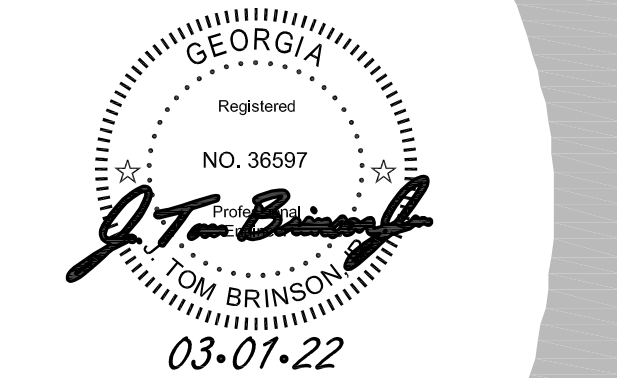
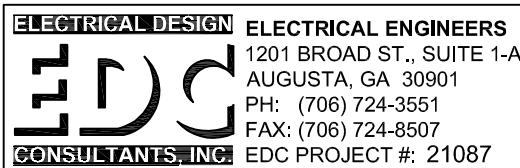


2 PARTIAL RISER DIAGRAM - ELEVATOR

SCALE: NONE

KEYED NOTES:

- EXISTING PANEL "A". PROVIDE ONE(1) 125A/2P FULLY ADJUSTABLE (TIME & CURRENT) CIRCUIT BREAKER.
- PROVIDE A 200A/2P FUSED DISCONNECT FOR ELEVATOR CONTROLLER. DISCONNECT LOCATION SHALL BE DETERMINED BY ELEVATOR MANUFACTURER. (TOP OF SHAFT OR BASEMENT). PROVIDE ALL AUXILIARY CONTACTS AS REQUIRED FOR ELEVATOR.
- PROVIDE A 30A/2P FUSED DISCONNECT FOR CAB LIGHTS. DISCONNECT LOCATION SHALL BE DETERMINED BY ELEVATOR MANUFACTURER. (TOP OF SHAFT OR BASEMENT).



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LEGEND, NOTES, DETAILS, AND
FIXTURE SCHEDULE

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
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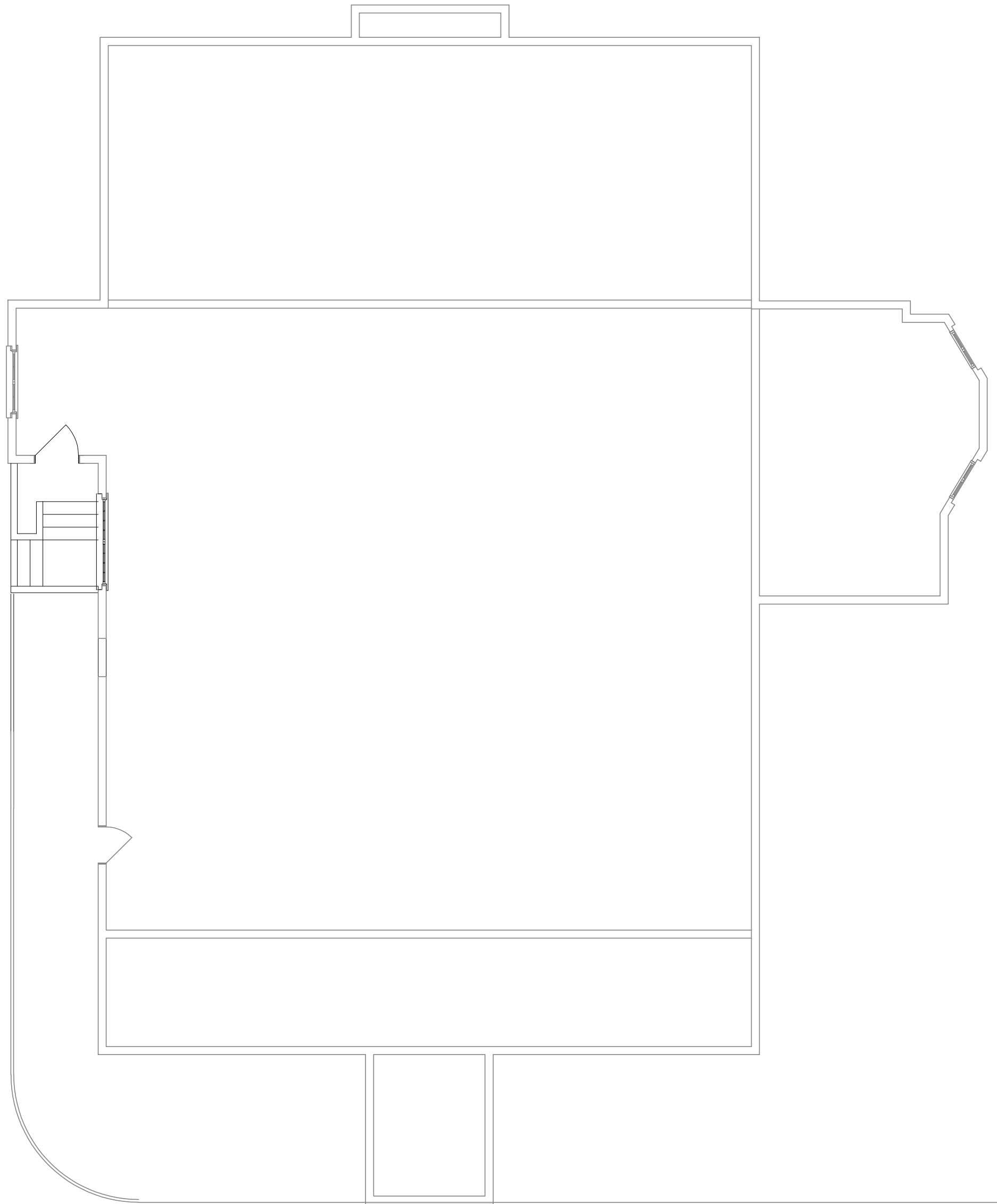
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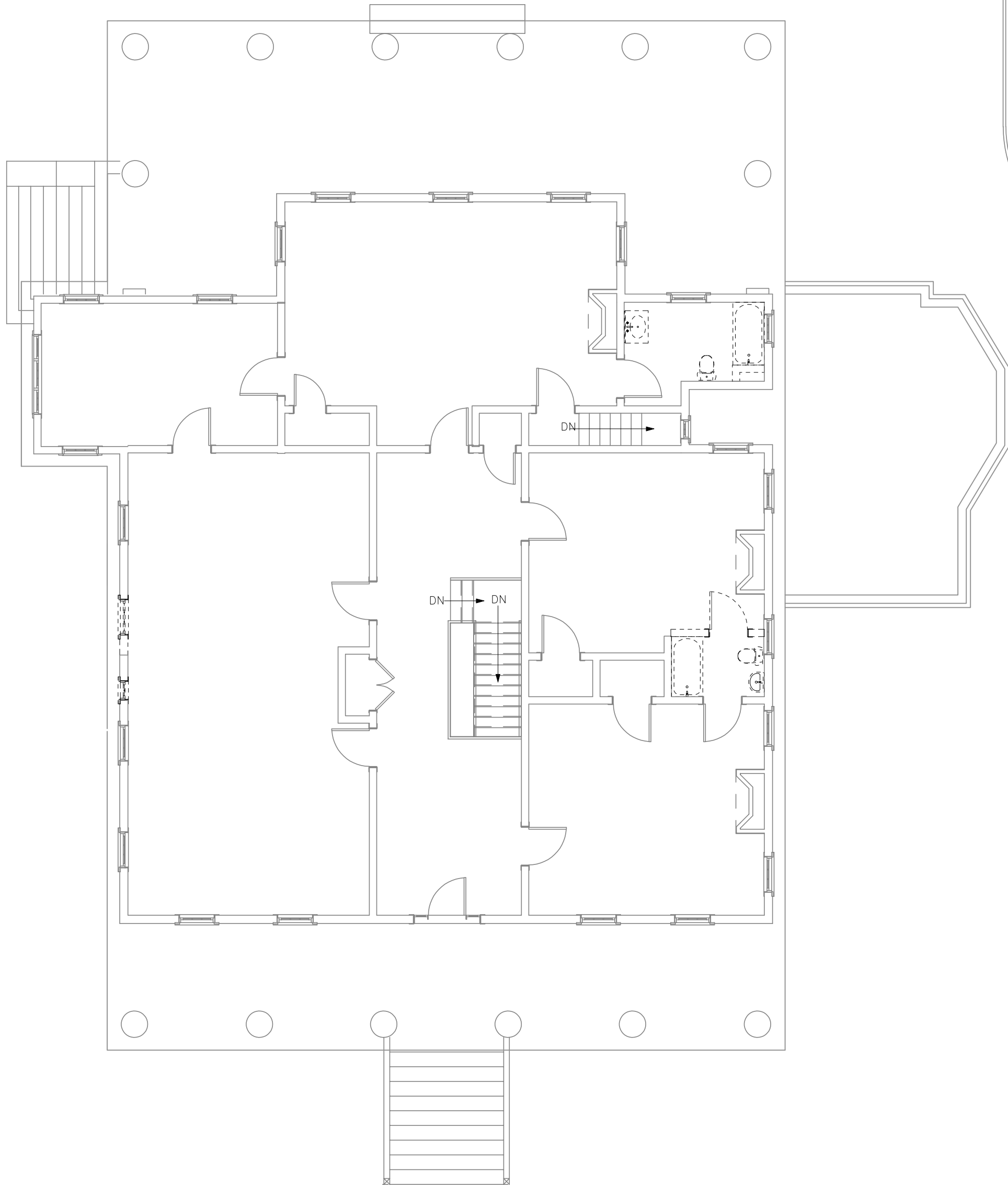
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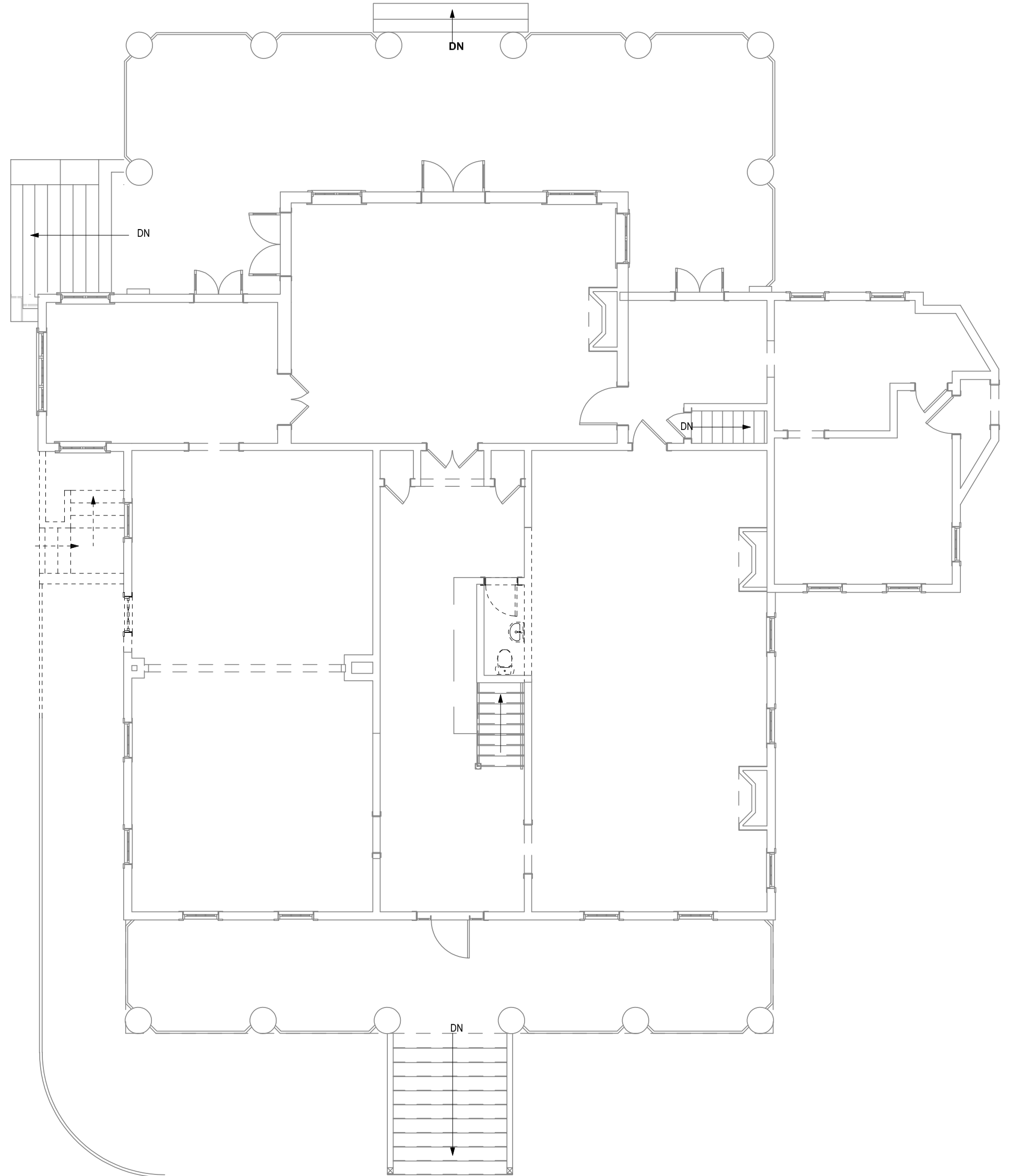
E1.0



1 ELECTRICAL DEMOLITION PLAN - BASEMENT
E1.1 SCALE: 1/8"=1'-0"



3 ELECTRICAL DEMOLITION PLAN - SECOND FLOOR
E1.1 SCALE: 1/8"=1'-0"



2 ELECTRICAL DEMOLITION PLAN - FIRST FLOOR
E1.1 SCALE: 1/8"=1'-0"



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ELECTRICAL DEMOLITION PLAN - BASEMENT,
FIRST AND SECOND FLOOR

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
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E1.1



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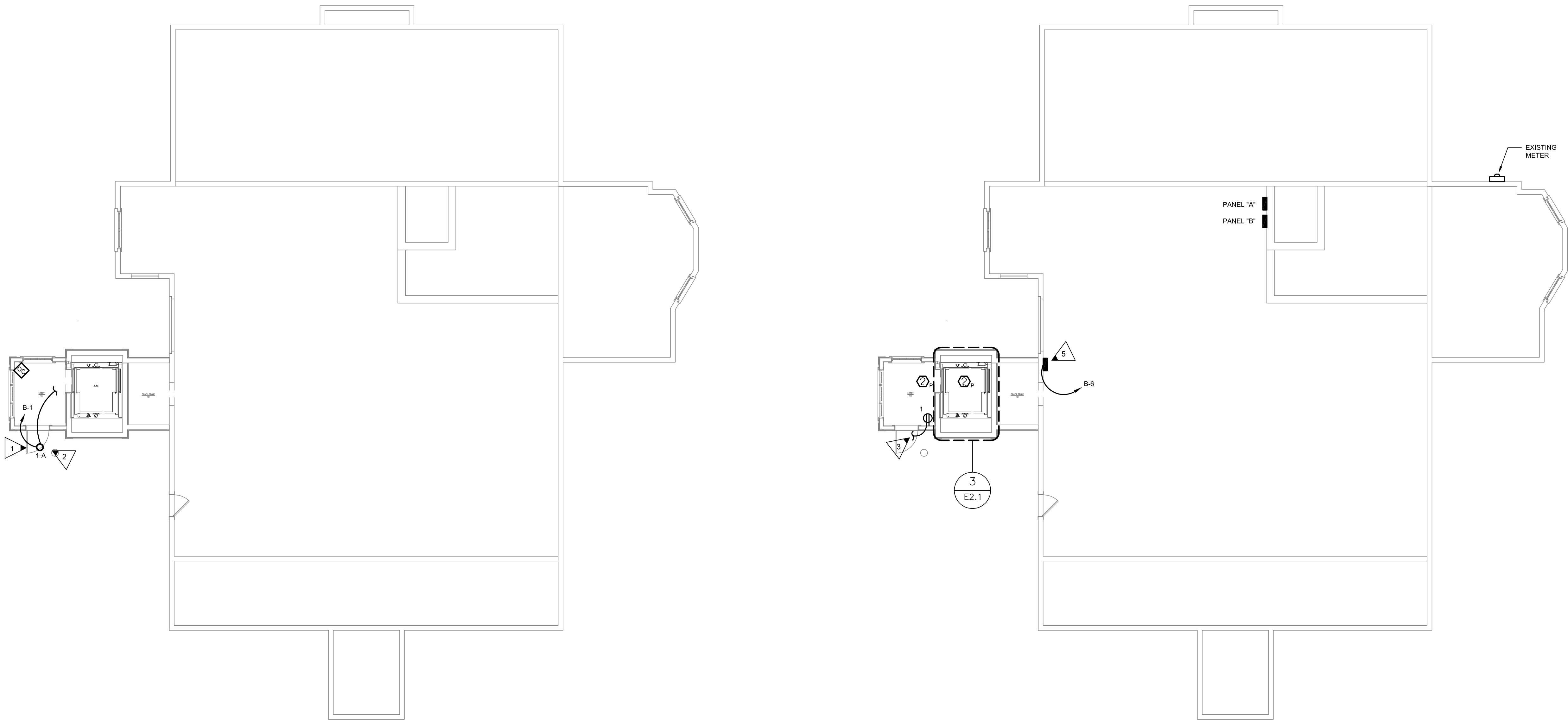
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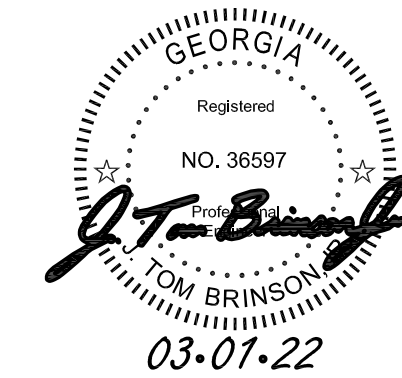
1 LIGHTING PLAN - BASEMENT
E2.1 SCALE: 1/8"=1'-0"

2 POWER PLAN - BASEMENT
E2.1 SCALE: 1/8"=1'-0"

3 ENLARGED ELEVATOR POWER PLAN - BASEMENT
E2.1 SCALE: 1/4"=1'-0"

KEYED NOTES:

- 1 ROUTE HOMERUN TO PANEL "B" PROVIDE A NEW 20A/1P BREAKER.
- 2 PROVIDE A TIME CLOCK AND PHOTOCCELL FOR EXTERIOR FIXTURE.
- 3 CONNECT TO SAME CIRCUIT SERVING LIGHTING.
- 4 SIMPLEX RECEPTACLE SERVING SUMP PUMP.
- 5 SUMP PUMP CONTROL PANEL. PROVIDE 120V CONTROL CONNECTION TO PANEL AND A 2" FROM CONTROL PANEL TO SUMP PUMP IN ELEVATOR PIT FOR CONTROL CABLE.



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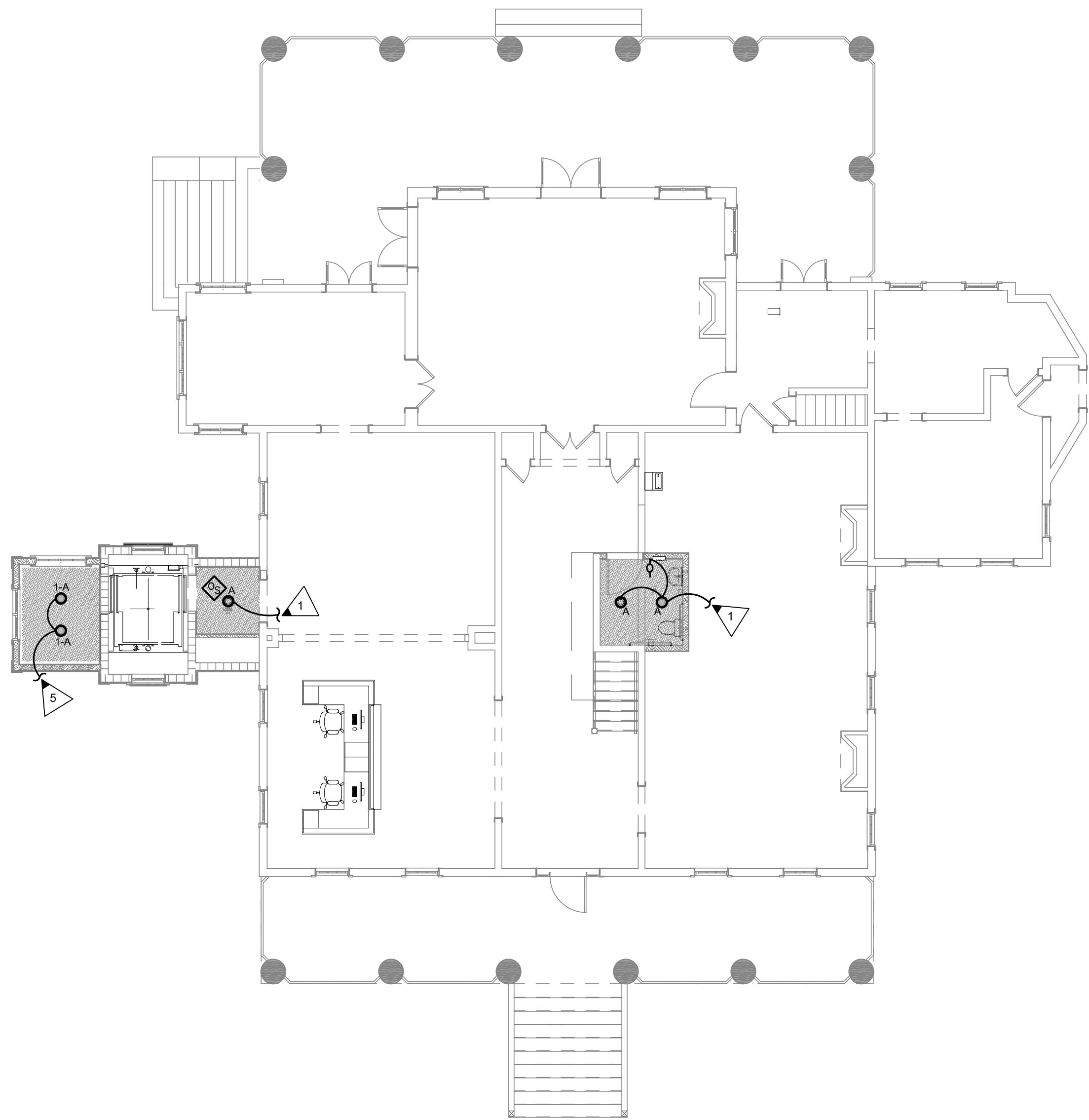
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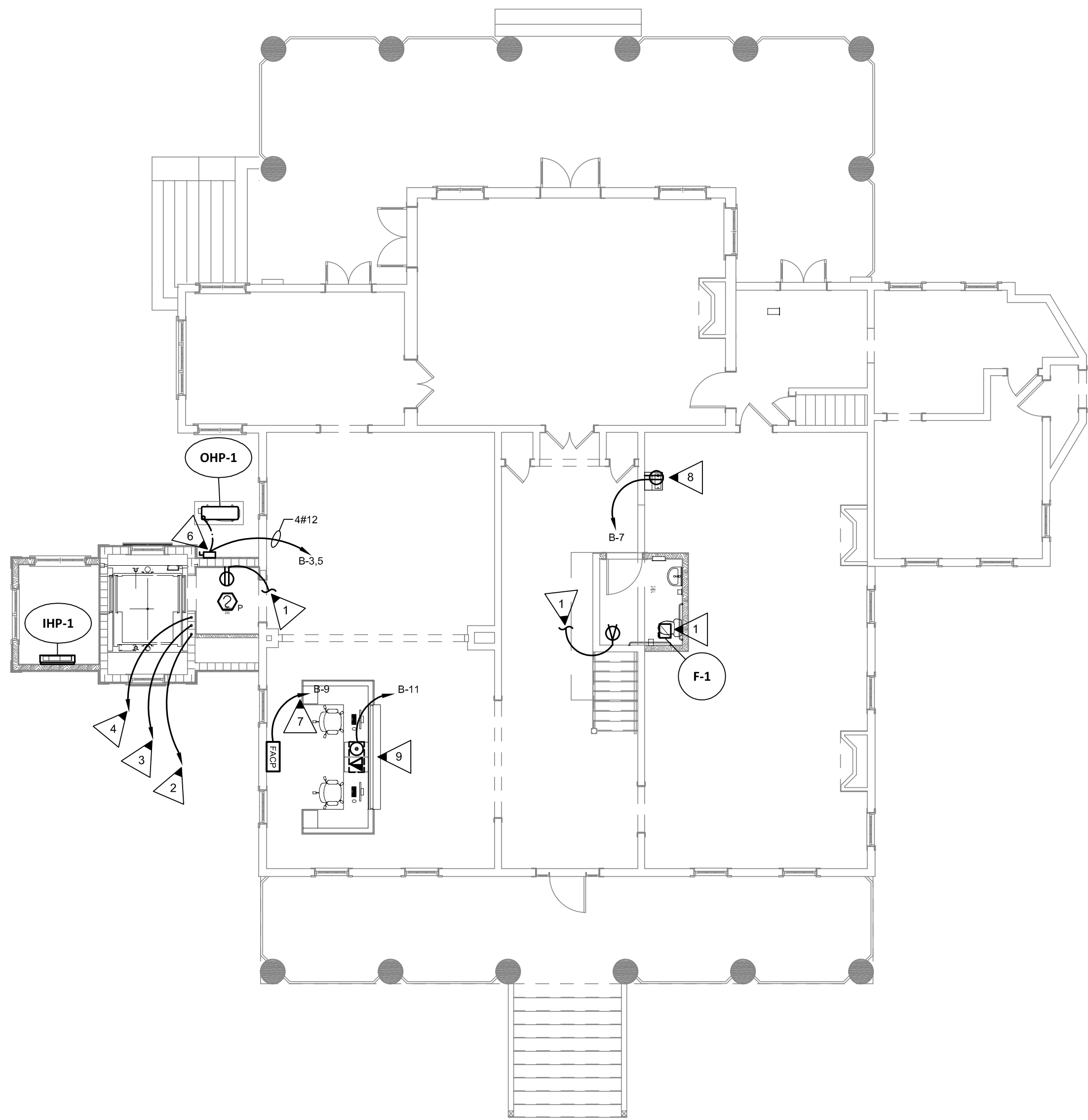
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1 LIGHTING PLAN - FIRST FLOOR
E2.1 SCALE: 1/8"=1'-0"



2 POWER PLAN - FIRST FLOOR
E2.1 SCALE: 1/8"=1'-0"

KEYED NOTES:

- 1 CONNECT TO EXISTING CIRCUIT SERVING THIS SPACE. EXHAUST FAN SHALL BE CONNECTED TO SWITCH LEG CONTROLLING LIGHTING.
- 2 TO TELEPHONE BACKBOARD. PROVIDE 3/4" CONDUIT AND CAT 5E CABLE FOR COMMUNICATION.
- 3 PROVIDE CONNECTION TO FIRE ALARM CONTROL PANEL.
- 4 MAIN POWER CONNECT AND CAB LIGHT CONNECTIONS. SEE DETAIL 2/E1.0.
- 5 CONNECT TO CIRCUIT SERVING LOBBY (B-1). FIXTURE SHALL BE CONTROLLED BY OCCUPANCY SENSOR
- 6 PROVIDE 15A/2P BREAKER IN PANEL "B" TO SERVE VRF UNIT. 30A/2P/3R DISCONNECT AT OUTDOOR UNIT AND A MOTOR RATED SWITCH AT INTERIOR. PROVIDE A 3/4" CONDUIT BETWEEN INDOOR AND OUTDOOR UNIT FOR CONTROLS.
- 7 PROVIDE A DEDICATED FUNCTION FIRE ALARM CONTROL UNIT FOR ELEVATOR RECALL. PROVIDE A PERMANENT LABEL INDICATING "ELEVATOR RECALL CONTROL AND SUPERVISORY CONTROL UNIT". REFER TO 2020 NFPA 72 CH 21.3.2 FOR DETAILS. FIELD LOCATE PANEL AT CIRCULATION DESK.
- 8 ELECTRIC WATER COOLER. PROVIDE DEDICATED CIRCUIT TO PANEL SHOWN. PROVIDE A 20A/1P GFCI BREAKER IN PANEL. COORDINATE EXACT ROUGH IN LOCATION OF RECEPTACLE WITH MANUFACTURE CUT SHEET.
- 9 PROVIDE A FLOORBOX FOR POWER/DATA FOR NEW CIRCULATION DESK. COORDINATE EXACT BOX REQUIREMENTS WITH FIELD CONDITIONS. PROVIDE A QUADRADPLEX RECEPTACLE WITH DATA PROVISIONS FOR SIX (6) DATA DROPS.

ELECTRICAL DESIGN CONSULTANTS INC. EDC
ELECTRICAL ENGINEERS
1201 BROAD ST., SUITE 1-A
AUGUSTA, GA 30901
PH: (706) 724-3551
FAX: (706) 724-4507
EDC PROJECT #: 21087

LIGHTING AND POWER PLAN - FIRST FLOOR

PROJECT NUMBER 202056

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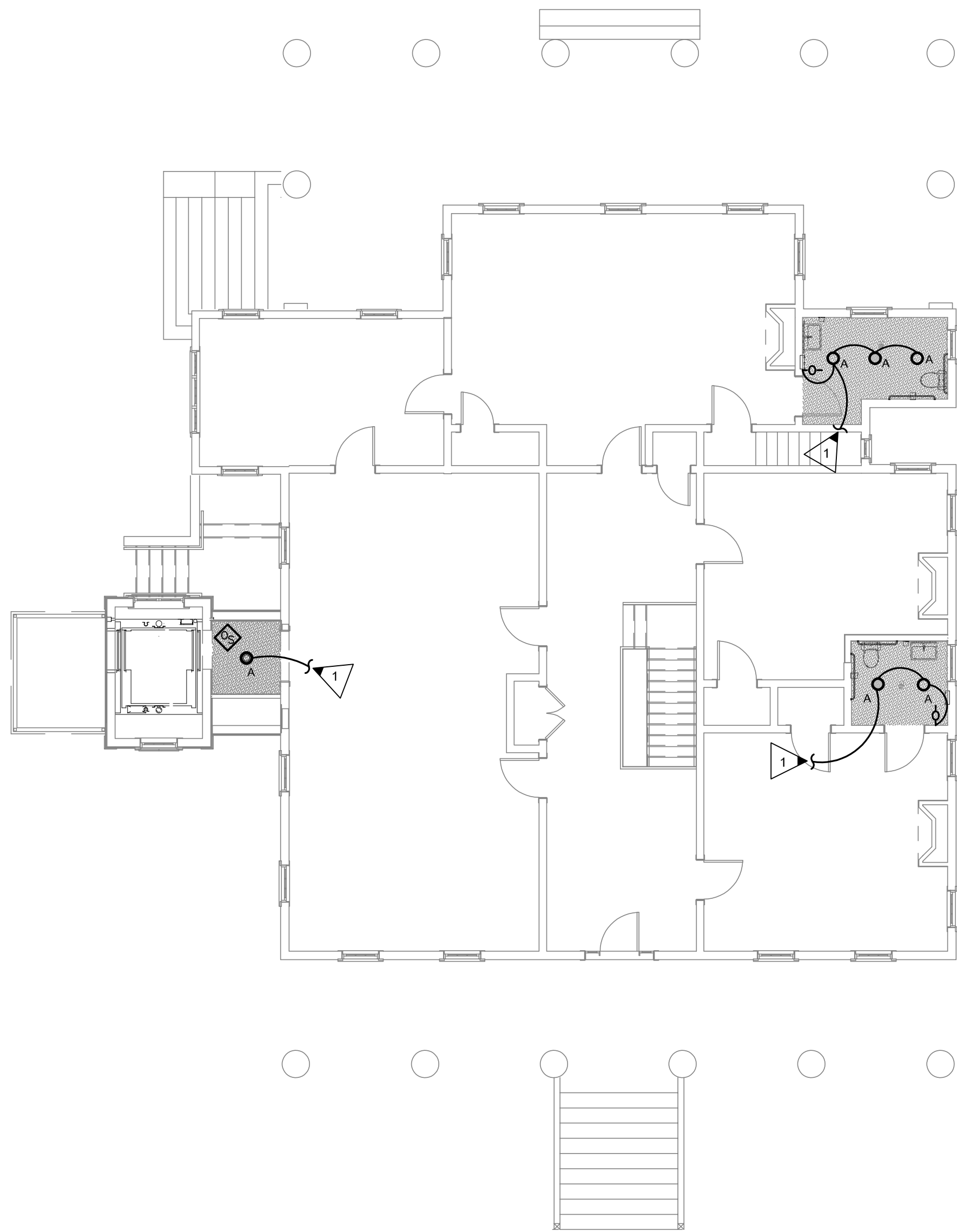
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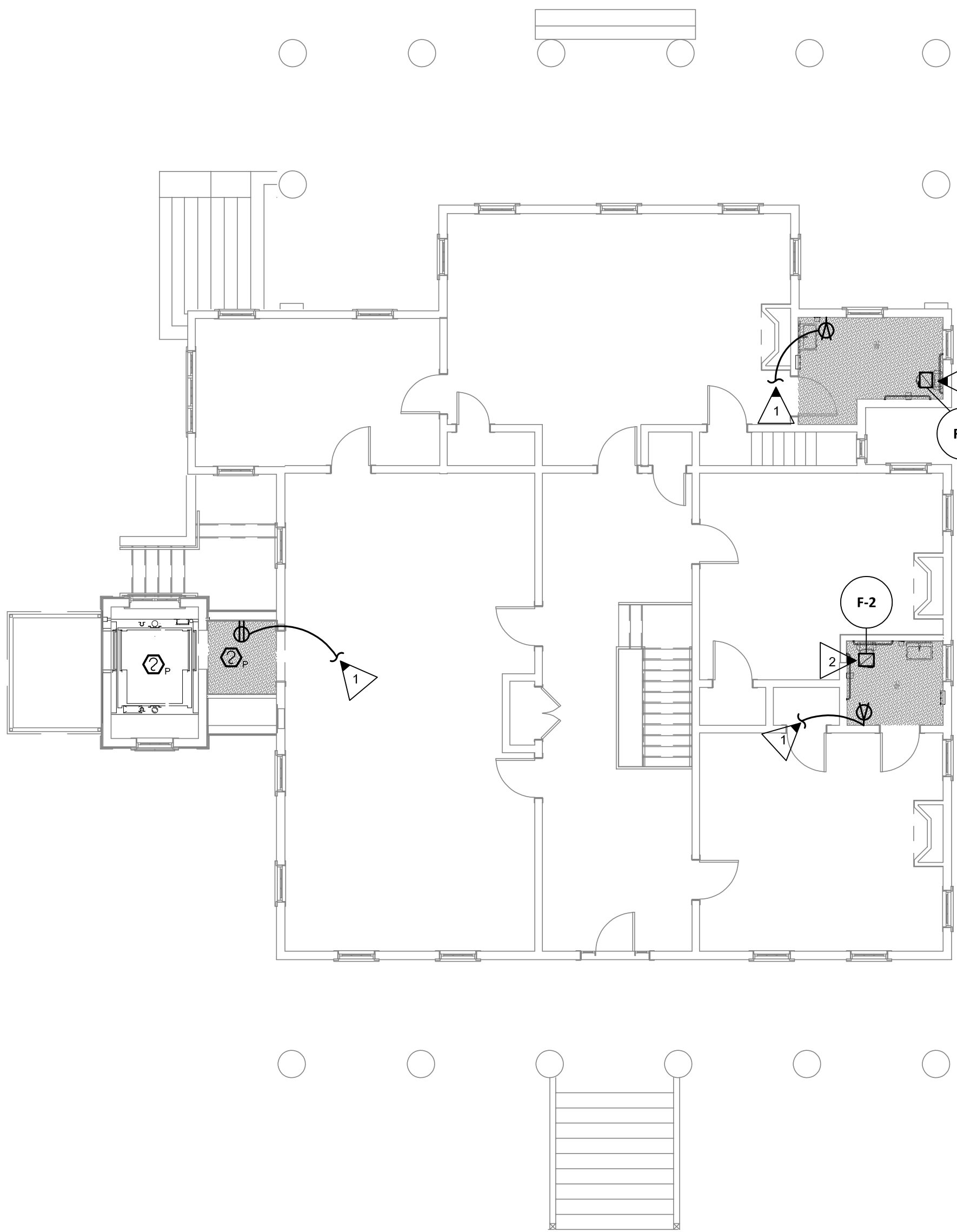
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E2.2



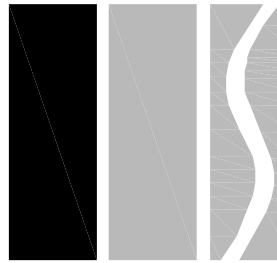
1 LIGHTING PLAN - SECOND FLOOR
E2.3 SCALE: 1/8"=1'-0"



2 POWER PLAN - SECOND FLOOR
E2.1 SCALE: 1/8"=1'-0"

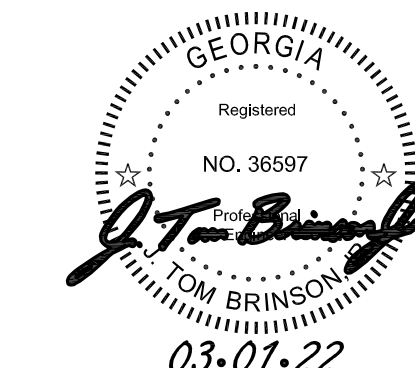
- KEYED NOTES:
- 1 CONNECT TO EXISTING CIRCUIT SERVING THIS SPACE.
 - 2 CONNECT TO EXISTING SWITCH LEG SERVING THE LIGHTING IN THIS SPACE.

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CONSULTANTS, INC. 1201 BROAD ST., SUITE 1-A
AUGUSTA, GA 30901
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LIGHTING AND POWER PLAN - SECOND FLOOR

RENOVATIONS AND ADDITION FOR THE AUGUSTA-
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E2.3